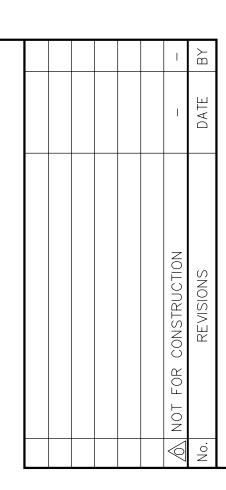


CONCEPTUAL SUBDIVISION PLANS **FOR** NW 7TH AVENUE SUBDIVISION



GENERAL NOTES

<u>TREE LOCATION:</u> THE PROPOSED PROJECT AND ITS ORIENTATION TO EXISTING TREES WERE PROVIDED BY JCH CONSULTING GROUP INC

SEWEN:
WASTEWATER SERVICE WILL BE PROVIDED BY CITY OF OCALA

A SOLID WASTE IMPACT FEE IS DUE AND PAYABLE FOR EACH RESIDENTIAL UNIT AT THE TIME OF FINAL PLAT. THE COST IS \$265.00

TOPOGRAPHIC INFORMATION PROVIDED BY A SURVEY FROM JCH CONSULTING GROUP INC., DATED AUGUST 13, 2019. ELEVATIONS ARE IN NAVD 88 DATUM.

REFER TO TOPOGRAPHIC SURVEY (JCH CONSULTING GROUP, INC. DATED AUGUST 13, 2019)

THE CITY OF OCALA SHALL PROVIDE PERPETUAL MAINTENANCE FOR THE DRAINAGE SYSTEMS AND COMMON AREAS OF THE

CITY OF OCALA SITE CONCEPTUAL SUBDIVISION PLAN NO. SUB19-0014

TRAFFIC IMPACT STATEMENT:

TRIP GENERATION RATES WERE OBTAINED FROM THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION 10TH EDITION FOR LAND USE CODE 210, AS OUTLINED BELOW. BASED ON A DEVELOPMENT PROGRAM OF 7 DWELLING UNITS, THE SITE WILL GENERATE 90 DAILY, 10 AM PEAK HOUR (2 ENTERING, 8 EXITING), AND 8 PM PEAK HOUR (5 ENTERING, 3 EXITING) PROJECT

DAILY TRIP GENERATION FORMULA: LN(T) =0.92LN(X) +2.71 (X IS THE NUMBER OF DWELLING UNITS) AM PEAK HOUR TRIP GENERATION FORMULA: T = 0.71*(X)+4.80; (X IS NUMBER OF DWELLING UNITS); (25% IN/75% OUT) PM PEAK HOUR TRIP GENERATION FORMULA: LN(T) = 0.96*LN(X)+0.2; (X IS NUMBER OF DWELLING UNITS); (63% IN/37% OUT)

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF OCALA LAND DEVELOPMENT CODE AND THE CITY OF OCALA WATER AND SEWER

PRIOR TO THE START OF CONSTRUCTION, THE PROJECT ENGINEER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEVELOPMENT COORDINATOR, (352) 629-8421. MEETING WILL TAKE PLACE AT THE GROWTH MANAGEMENT DEPARTMENT WITH ENGINEER, CONTRACTOR AND STAFF. NO SITE WORK SHALL COMMENCE PRIOR TO THIS MEETING TAKING PLACE.

3. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY FASHION. 4. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.

PROJECT OWNER AND CONSULTANTS

110 SE WATULA AVE

OCALA, FL 34471

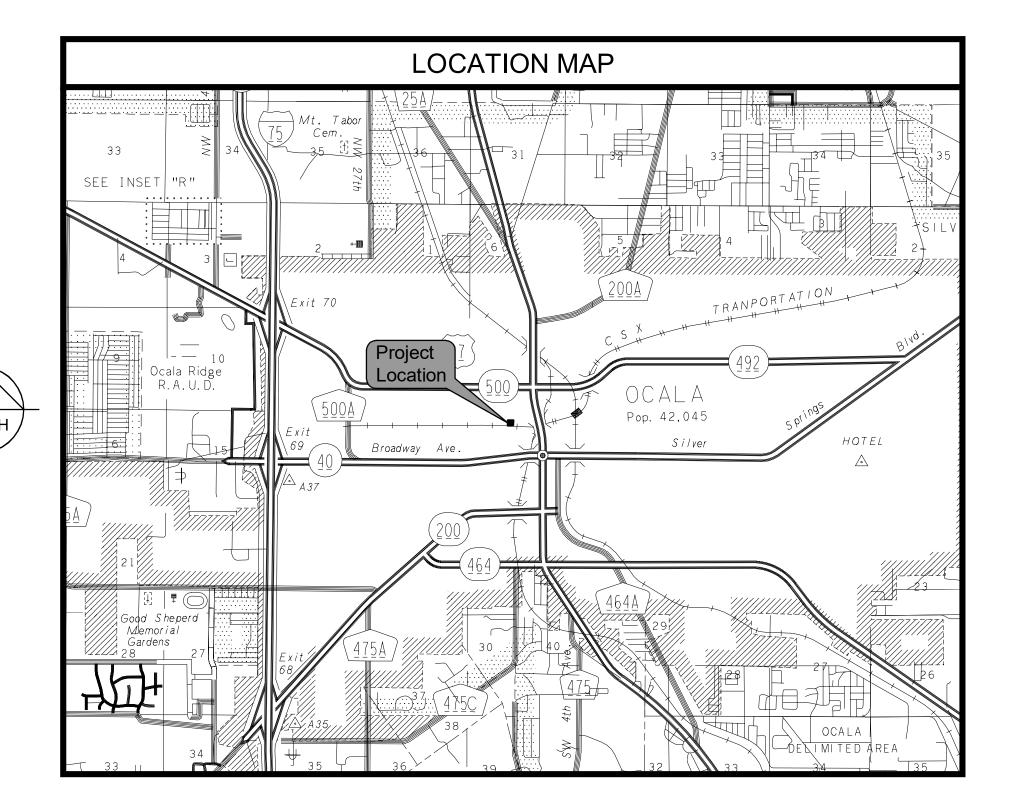
(352) 629-2489

101 E SILVER SPRINGS BLVD, SUITE 400 OCALA, FLORIDA 34470

SURVEYOR: JCH CONSULTING GROUP, INC. 426 SW 15TH ST OCALA, FLORIDA 34471 (352) 405-1482

CITY OF OCALA, FLORIDA SECTION 18, TOWNSHIP 15 SOUTH, RANGE 22 EAST

MAY 2020



UTILITY PROVIDERS

VICKI SCHOOLEY (352) 351-6775

GAS: TECO PEOPLES GAS PHILLIS BRIDGES

(813) 228-4025

CITY OF OCALA TELECOMMUNICATIONS FIBER TECHNICIANS (352) 401-3999

DISPATCH (855) 742-6062 ELECTRIC: CITY OF OCALA ELECTRIC OEU LOCATOR (352) 351-6650

DRAINAGE NOTE

DRAWING INDEX

C-01 - COVER SHEET C-02 - GENERAL NOTES C-03 - SITE PLAN C-04 - GRADING PLAN C-05 - UTILITY PLAN

C-06 - CONSTRUCTION DETAILS C-07 - UTILITY DETAILS

1 OF 2 TOPOGRAPHIC SURVEY (JCH CONSULTING GROUP, INC.) 2 OF 2 TOPOGRAPHIC SURVEY (JCH CONSULTING GROUP, INC.) Kimley

S Ш

NW 7TH AVENUE SUBDIVISION PREPARED FOR THE CITY OF OCALA

SHEET NUMBER C-01

- 2. ELEVATIONS BASED ON SURVEY PROVIDED BY JCH CONSULTING GROUP, INC., DATED AUGUST 13, 2019.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THEIR OPERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED FOR THE PROJECT.
- 6. THE LOCATION OF ALL UTILITIES SHOWN ON THE DRAWINGS ARE FROM INFORMATION PROVIDED BY FIELD
- 7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM, IN THE FIELD, THE LOCATIONS AND ELEVATIONS
- SHOWN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 8. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES
- 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
- 10. "AS-BUILT" INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER. ALL UNDERGROUND FITTINGS MUST BE REFERENCED TO AT LEAST TWO VISIBLE REFERENCE POINTS ON THE AS-BUILT DRAWINGS. AS-BUILT PLANS ARE REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 11. CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS DURING AND FOLLOWING CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS.
- 12. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CONSTRUCTION POLLUTION PREVENTION PLAN INCLUDED HEREIN.
- 13. THE CONTRACTOR SHALL PROVIDE A TEMPORARY WATER SERVICE OR WATER TRUCK FOR WASH-DOWN OF VEHICLES LEAVING THE PROJECT SITE IF NECESSARY.
- 14. ALL UNDERGROUND UTILITIES TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE CITY OF OCALA UTILITIES SPECIFICATIONS AND THE APPROVED SITE PLANS.
- 15. THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, AND THE PROPERTY OWNER 48 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITIES COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.
- 16. THE ENGINEER OF RECORD SHALL BE GIVEN FORTY EIGHT HOURS (48-HR) NOTICE OF ALL MEETINGS AND OR TESTING
- 17. CONSTRUCTION WARNING SIGNS ARE TO BE MOUNTED AND ERECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE AND ALL TRAFFIC CONTROL DEVICES SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS WELL AS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD
- 18. THE CONTRACTOR IS RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTION AREA. THE CONSTRUCTION AREA SHALL BE
- 19. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED ACCORDING TO LOCAL REGULATIONS.
- 20. THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES.
- 21. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATION AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY, THE ENGINEER OF RECORD, AND THE CITY/COUNTY.
- 22. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. THE CONTRACTOR SHALL RESTORE/REPLACE ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES.
- 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
- 24. THERE SHALL BE A MINIMUM THREE (3) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION
- 25. A PERMIT MUST BE OBTAINED FROM THE CITY OF OCALA PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE CITY RIGHT OF WAY.

DEMOLITION NOTES:

1 CODES ALL CODES REGULATING DEMOLITION WORK SHALL BE COMPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL PUT UP AND MAINTAIN SUCH BARRIERS AND WARNING LIGHTS, AS MAY BE NECESSARY OR REQUIRED BY CODE, TO PROTECT AND PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE DEMOLITION WORK AREA. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) INSOFAR AS THEY APPLY TO DEMOLITION WORK TO BE PERFORMED UNDER THIS CONTRACT.

2. PROTECTION OF BUILDINGS & EQUIPMENT TEMPORARY PROTECTIVE DEVICES. AS REQUIRED SHALL BE INSTALLED ADJACENT TO THE DEMOLITION WORK FOR PROTECTION PERSONNEL, EXISTING ADJACENT BUILDINGS, STRUCTURES AND EQUIPMENT AGAINST DUST, FALLING

OR FLYING DEBRIS. ANY DAMAGE TO EXISTING STRUCTURES, FACILITIES AND/OR EQUIPMENT RESULTING FROM DEMOLITION WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. 3 DISPOSAL OF EXISTING FOUIPMENT & DEBRIS ALL DEBRIS AND EXISTING MATERIALS AND EQUIPMENT SHALL BE HAULED AWAY AND DISPOSED OF BY THE

CONTRACTOR. THE CONTRACTOR SHALL MAKE HIS OWN ARRANGEMENTS FOR OBTAINING DISPOSAL AREAS. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT SPILLAGE OF MATERIALS BEING HAULED IN PUBLIC STREETS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY CLEAN UP ANY SPILLAGE WHICH MAY ACCIDENTALLY OCCUR.

4 CLEAN-UP THE CONTRACTOR SHALL MAINTAIN AN ORDER OF NEATNESS AND GOOD HOUSEKEEPING. TOOLS, SCAFFOLDING AND OTHER DEMOLITION EQUIPMENT MUST AT ALL TIMES BE KEPT IN A NEAT AND ORDERLY ARRANGEMENT. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION AS REQUIRED FOR SUBSEQUENT NEW WORK. SIGNAGE AND PAVEMENT MARKING NOTES:

- 1. ALL SIGNS MUST MEET THE CITY OF OCALA'S STANDARDS FOR SIGN FACES IN REFLECTIVITY.
- 2. ALL FINAL PAVEMENT MARKINGS WITHIN THE STATE AND PUBLIC RIGHT-OF-WAYS SHALL BE THERMOPLASTIC
- 3. ALL STOP SIGNS (R1-1) SHOULD BE 30" AND FABRICATED USING 3M DIAMOND GRADE VIP REFLECTIVE SHEETING.
- 4. STOP AND STREET NAME SIGNS SHALL BE MOUNTED ONTO THE SAME POLE.
- 5. STOP LINES SHALL BE TWENTY-FOUR INCHES (24") WIDE AND LANE WIDTH.
- 6. ALL SIGNS SHALL BE SIZED IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- 7. STREET NAME SIGN SPECIFICATIONS WILL BE PER CITY OF OCALA STANDARDS.

PAVING AND DRAINAGE NOTES:

- ALL GRADING, PLACEMENT OF FILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH CITY OF OCALA STANDARD SPECIFICATIONS AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION AND ALL APPLICABLE ADA SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL CONSTRUCT ALL DRAINAGE STRUCTURES TO THE DESIGN ELEVATIONS SHOWN AND IN COMPLIANCE WITH TYPICAL CONSTRUCTION DETAILS.
- ALL PIPE LENGTHS SHOWN HEREIN ARE APPROXIMATE LENGTHS FROM CENTER TO CENTER OF THE RELATED STRUCTURES.
- 4. ALL PIPE LENGTHS ARE SCALED AND MAY REQUIRE SLIGHT FIELD ADJUSTMENTS TO FIT CONDITIONS. ALL PIPE CROSSINGS SHALL BE COMPACTED TO 95% MAX. DENSITY AT 1' LIFTS.
- 5. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE PAVING AND DRAINAGE FACILITIES WITH ALL
- 6. ALL PIPE JOINTS SHALL BE PROPERLY FITTED AND SEALED PER PRODUCT MANUFACTURERS SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL NOTIFICATIONS AND UTILITY LOCATION EFFORTS WITH THE UTILITY
- OWNERS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT SEVEN (7) SETS OF SHOP DRAWINGS OF ALL STRUCTURES, EQUIPMENT, MATERIAL SPECIFICATIONS TO THE CONSTRUCTION MANAGER AND ENGINEER OF RECORD FOR REVIEW PRIOR TO THE PURCHASE AND/OR INSTALLATION OF ANY STRUCTURES, EQUIPMENT, AND/OR MATERIAL.

PAVING AND DRAINAGE NOTES CONTINUED:

- 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMITTED CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE ORGANIZATION AND/OR ENTITY RESPONSIBLE FOR THE INSTALLATION TO UPDATE/REPLACE ANY DEFICIENT MATERIAL/EQUIPMENT NECESSARY TO BRING THE FINAL PRODUCT TO THE STANDARDS OF THE PERMITTED CONSTRUCTION DOCUMENTS.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN.
- 11. COMPACTION DENSITIES FOR ALL ROADWAY CROSSINGS ARE TO BE TAKEN IN ONE-FOOT (1') LIFTS.
- 12. LIMEROCK BERING RATIOS FOR SUBGRADE AT FORTY (40) AND LIMEROCK OR ALTERNATIVE BASE COURSE AT ONE HUNDRED (100). THERE WILL BE NO UNDER TOLERANCE.
- 13. ALL MATERIAL USED FOR BACKFILL SHALL BE A3 FREE DRAINING SAND.
- 14. THERE ARE TO BE NO OPEN TRENCHES AT THE DAY'S END.
- 15. THE CONTRACTOR SHALL ADHERE TO ALL NOTES PROVIDED IN THESE CONSTRUCTION DRAWINGS.
- 16. ALL CONSTRUCTION LINES & GRADES SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR.
- 17. CONTRACTOR WILL CLEAR, GRUB AND DISPOSE OF ALL DEBRIS AND SURFACE ORGANICS IN ALL EASEMENTS, ROAD RIGHT-OF-WAYS AND DETENTION AREAS. DISPOSAL SHALL BE INCLUDED IN THE CONTRACT.
- 18. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DOWNSTREAM TURBIDITY/ SILTATION THROUGH THE USE OF HAY BALES, SCREENS, SILTATION BASINS, AND/OR ANY OTHER SUITABLE MEANS REQUIRED TO MEET FLORIDA STREAM STANDARDS. SEED AND MULCH ALL DISTURBED AREAS, SOD AS REQUIRED TO CONTROL EROSION THROUGH FINAL INSPECTION AND TO PRODUCE A UNIFORM STAND OF GRASS THROUGHOUT
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR BRICKING UP CURB INLETS TO FINISHED GRADE AND FURNISHING AND MAINTAINING ALL HARDWARE.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING CURB TRANSITIONS TO FINISH GRADE.
- 21. UNDERDRAINS SHALL BE INSTALLED, BY THE CONTRACTOR, IN ALL CASES WHERE THE GROUNDWATER TABLE IS CLOSER THAN 24 INCHES BELOW THE PROPOSED CENTERLINE GRADE OF ANY ROAD. CONTACT ENGINEER IF ISSUE IS (3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.
- 22. ALL DISTURBED AREAS SHALL RECEIVE GRASS SEED, FERTILIZER, AND MULCH. AREAS SHALL HAVE BEEN FILLED AND GRADED AS NECESSARY TO PROVIDE PROPER DRAINAGE. SLOPES STEEPER THAN 4:1 SHALL BE PINNED OR PEGGED
- 23. FILTER WRAP SHALL BE USED ON ALL DRAINAGE JOINTS AS REQUIRED BY FDOT SPECIFICATIONS.
- 24. A 2' STRIP OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS.
- 25. ALL POND SIDE SLOPES SHALL BE STABILIZED WITH ESTABLISHED GRASS AT TIME OF FINAL INSPECTION.
- 26. HANDICAP RAMPS SHALL BE INSTALLED WHEREVER THE SIDEWALK MEETS THE CURB, AND SHALL COMPLY WITH ALL ADA REQUIREMENTS.
- 1. IF CLAYEY SOILS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ENGINEER FOR RECOMMENDATIONS ON HOW TO PROCEED WITH THE PLACEMENT AND USE OF THESE SOILS.
- . BECAUSE OF THE LOCATION OF THE PROJECT, IT CAN BE EXPECTED THAT LIMESTONE WILL BE ENCOUNTERED DURING CONSTRUCTION. LIMESTONE DEPOSITS IN THIS PART OF MARION COUNTY CAN RANGE FROM SCATTERED SOFT DEPOSITS TO LARGE ROCK BOULDERS. IT IS ANTICIPATED THAT MOST OF THE LIMESTONE ENCOUNTERED DURING CONSTRUCTION CAN BE EXCAVATED USING NORMAL EARTH MOVING EQUIPMENT. HOWEVER, HARDER DEPOSITS MAY REQUIRE ROCK BREAKERS OR RIPPING EQUIPMENT. ANY LIMESTONE REMOVAL SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR EARTH MOVING ACTIVITIES.
- 3. SHOULD ANY SINKHOLE ACTIVITY BE OBSERVED DURING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER IMMEDIATELY FOR GUIDANCE ON REPAIRING THE SINKHOLE.

ELECTRICAL NOTES:

- 1. CUSTOMER MUST SUBMIT THE CITY OF OCALA ELECTRIC UTILITY (OEU) COMMERCIAL LOAD DATA SHEET AND THE OEU <u>GENERAL INFORMATION SHEET</u> TO THE ZONING DEPARTMENT PRIOR TO ANY SITE PERMITS BEING ISSUED. DATA SHEETS MUST BE APPROVED BY OEU ENGINEERING PRIOR TO ANY SITE PERMITS BEING ISSUED. MATERIAL LEAD TIMES MAY CAUSE A DELAY IN OBTAINING SERVICE, IF LOAD DATA IS NOT SUBMITTED AS SOON AS POSSIBLE.
- CUSTOMER MUST CONTACT THE CITY OF OCALA ELECTRIC UTILITY ENGINEERING DIVISION AT (352) 351-6620 AT LEAST SIX (6) WEEKS PRIOR TO THE START OF CONSTRUCTION TO DISCUSS PERMANENT SERVICE REQUIREMENTS, TEMPORARY CONSTRUCTION POWER, TRANSFORMER LOCATION, AND METER LOCATION. REFERENCE CITY PROJECT
- TRFES CANNOT BE PLANTED AROUND, OVER, OR UNDER ANY EXISTING OR PROPOSED POWER LINES. THIS INCLUDES ANY LINES DESIGNED AFTER FINAL SITE PLAN APPROVAL. NO NEW SHADE TREES WILL BE PERMITTED WITHIN 30 FEET OF OVERHEAD POWER LINES. ALL PLANS WILL REQUIRE A (20) FOOT WIDE UTILITY EASEMENT AND TREE TRIMMING EASEMENTS FOR EXISTING AND PROPOSED OVERHEAD ELECTRIC LINES.
- 4. FOR ALL UNDERGROUND ELECTRIC POWER LINES ON PRIVATE PROPERTY, A TEN (10) FOOT ELECTRIC DISTRIBUTION EASEMENT WILL BE REQUIRED. FOR OVERHEAD CONSTRUCTION, A TWENTY (20) FOOT EASEMENT WILL BE REQUIRED, ALSO, FOR ANY OVERHEAD POWER LINES, BOTH EXISTING AND PROPOSED, A TEN (10) FOOT TREE-TRIMMING EASEMENT WILL BE REQUIRED (SEC.70-585 AND SEC. 70-602).
- 5. UNDERGROUND ELECTRICAL SERVICE WILL BE AT THE CUSTOMER'S EXPENSE (SEC. 70-584 AND SEC. 70-603).
- 6. ALL ELECTRIC UTILITY FACILITIES SHALL BE INCLUDED ON THE SITE PLAN PRIOR TO SITE PLAN APPROVAL (INCLUDE YELLOW AND BLACK FACILITY I.D. NUMBER).
- 7. METER LOCATION WILL BE DESIGNATED BY OCALA ELECTRIC UTILITY (SEC. 70-587). HOWEVER, DESIRED LOCATION MAY BE NOTED ON SITE PLAN.
- 8. THE REQUESTED SERVICE VOLTAGE IS 120/208 VOLT, 3 PHASE. REQUESTED SERVICE VOLTAGE IS NOT GUARANTEED TO BE SUPPLIED, HOWEVER, OEU WILL TRY TO ACCOMMODATE THE REQUEST WHEN POSSIBLE (SEC. 70-585 AND SEC.
- 9. STREETLIGHTS, IF REQUIRED, WILL BE ADDED AT A ONE TIME CHARGE TO THE CUSTOMER. ESTIMATED COST WILL BE PROVIDED AS PART OF THE ACTUAL ELECTRICAL SERVICE DESIGN (SEC. 70-621). STREETLIGHT DESIGN FOR ALL PRIVATE ROADS MUST BE SHOWN ON SITE PLANS AND APPROVED BY OEU.
- 10. CONSTRUCTION FOR TEMPORARY SERVICE LOCATION TO BE DETERMINED BY OCALA ELECTRIC UTILITY.
- 11. THE FINAL APPROVED SITE PLAN IS TO BE EMAILED TO USING THE ABOVE MENTIONED OEU SITE PLAN REFERENCE NUMBER. ELECTRIC ENGINEERING WORK WILL NOT BEGIN UNTIL APPROVED ELECTRONIC SITE PLAN HAS BEEN
- 12. ADDITIONAL REQUIREMENTS ARE CONTAINED IN CHAPTER 70, ARTICLE VI AND ARTICLE VII OF THE OCALA CODE OF ORDINANCES.

CITY OF OCALA REGULATORY STATEMENTS: 1. CONTRACTOR SHALL PROVIDE THE CITY OF OCALA ENGINEERING DEPARTMENT WITH A COPY OF ALL PERMITS

OBTAINED FROM REGULATORY AGENCIES AND WATER MANAGEMENT DISTRICTS.

2. CONTRACTOR SHALL PROVIDE CERTIFIED AS-BUILT PLANS PRIOR TO THE CLEARANCE OF THE UTILITY LINES.

- 3. CONTRACTOR SHALL INSTALL LOCATOR WIRE ON ALL UNDERGROUND UTILITIES CONSTRUCTED OF NON-CONDUCTIVE
- MATERIALS.
- MAKING ANY CONNECTIONS TO THE CITY WATER OR SEWER SYSTEM. 5. ALL EXISTING OR PROPOSED WATER, SEWER, OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS

4. CONTRACTOR SHALL CONTACT THE CITY OF OCALA WATER AND SEWER DEPARTMENT 72 HOURS IN ADVANCE OF

SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.O. 6. ASBUILTS, MEETING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O.

WATER/SEWER SEPARATION REQUIREMENTS (FDEP):

SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE (3") INCHES OR GREATER.

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS: FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS"

- (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL
- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (3) THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610. F.A.C.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (3) THREE FEET, AND PREFERABLY (10) TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

WATER/SEWER SEPARATION REQUIREMENTS (FDEP) CONTINUED:

- (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (6) SIX FEET, AND PREFERABLY (10) TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610 F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO (3) THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST (6) SIX INCHES ABOVE THE TOP OF THE SEWER.
- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST (10) TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2). F.S. AND
- (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES:
- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST (6) SIX INCHES, AND PREFERABLY 12 INCHES ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST (3) THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST (6) SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY MANHOLE OR A
- (4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS. WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

EXCEPTIONS/MITIGATION

WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN ITEMS (1) THROUGH (4) ABOVE, THE CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, WHO WILL DETERMINE THE APPROPRIATE SOLUTION. IF A SUBSTANTIAL DEVIATION FROM THE PERMITTED DESIGN IS REQUIRED, A REQUEST FOR PERMIT REVISION WILL BE SUBMITTED TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) FOR APPROVAL PRIOR TO CONSTRUCTION.

SANITARY SEWER SYSTEM NOTES:

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS OR WATER AND SEWER CONSTRUCTION.
- 2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES WITH THESE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY FOR RESOLUTION.
- ALL EQUIPMENT AND MATERIALS SHALL COMPLY WITH THE CITY OF OCALA STANDARDS FOR WATER AND SEWER CONSTRUCTION, SECTION 499. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT AND MATERIAL FOR APPROVAL BY THE ENGINEER AND THE CITY OF OCALA UTILITIES DEPARTMENT PRIOR TO THE PURCHASE OR INSTALLATION OF ANY EQUIPMENT OR MATERIAL.
- GRAVITY SANITARY SEWER LINE SHALL CONFORM TO ASTM D-3034, SDR-26, COLOR GREEN AND CLEARLY MARKED AND
- 5. SANITARY SEWER FORCE MAIN SHALL BE PVC, C-900, DR 18, 200 PSI PRESSURE PIPE CONFORMING TO ASTM D1784 AND D1785 SDR 18. SANITARY FORCE MAIN SHALL BE COLOR CODED GREEN AND CLEARLY MARKED. PVC FORCE MAINS SHALL HAVE LOCATING WIRES ON THE TOP AND BOTTOM OF THE FORCE MAIN IN ACCORDANCE WITH THE CITY OF OCALA SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. MEGALUGS ARE NOT PERMITTED ON PVC FORCE MAINS. (NOTE DOES NOT PERTAIN TO THIS SITE)
- CONCRETE THRUST BLOCKS SHALL BE USED ON ALL PVC PRESSURE PIPING. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF ALL SANITARY PIPE AND APPURTENANCES IN ACCORDANCE
- IN THE PRESENCE OF THE CITY ENGINEER OR A DESIGNATED REPRESENTATIVE. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND CITY OF OCALA WATER RESOURCES DEPARTMENT ALL VIDEO

WITH THE CITY OF OCALA SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. TESTING SHALL BE PERFORMED

- LOGS AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INSURE THAT THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCE IS MAINTAINED TO ALL OTHER WET UTILITIES IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP)
- 10. ALL MANHOLE COVERS IN TRAFFIC AREAS SHALL BE HINGED AND LOCKABLE PER CITY OF OCALA SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.

POTABLE WATER SYSTEM NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR WITH
- A CLASS 5 LICENSE UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES. ALL MATERIALS AND CONSTRUCTION PROCEDURES AND TECHNIQUES SHALL BE IN ACCORDANCE WITH THE CITY OF

OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. POTABLE WATER SYSTEM NOTES CONTINUED:

- 1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT AND MATERIAL FOR APPROVAL BY THE ENGINEER AND THE CITY OF OCALA UTILITIES DEPARTMENT PRIOR TO THE PURCHASE OR INSTALLATION OF ANY FOUIPMENT OR MATERIAL
- 2. TWO INCH (2") TO TWELVE INCH (12") WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP) BASED ON PRESSURE. WATER MAIN SIZES LARGER THAN 12" SHALL BE DUCTILE IRON PIPE (DIP). ALL PVC PIPE SHALL BE POTABLE WATER BLUE, HAVE IDENTIFYING TAPE AND LOCATING WIRE ON TOP AND BOTTOM. PVC PIPE SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C-900, DR14 AND DR18.
- EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN SHOWN, BASED ON THE BEST INFORMATION AVAILABLE, WITHOUT EXPLORATORY EXCAVATIONS. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY AND ALL DISCREPANCIES WITH THE PLANS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- THE VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN AND PROFILE SHEETS HAVE BEEN ASSUMED. THE CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF THE LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
- SHOULD ANY CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER FOR RESOLUTION PRIOR TO CONTINUING CONSTRUCTION.
- UNSUITABLE SOIL MATERIALS UNDER WATER AND SEWER MAINS SHALL BE REMOVED AND REPLACED WITH SELECT BACKFILL IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION
- ALL ROCK AND UNSUITABLE SIZED STONES (AS DESCRIBED IN THE APPLICABLE AWWA AND THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION AND/OR THE PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN THE TRENCHES FOR NEW AND RELOCATED WATER MAIN PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE. AN APPROVED BACKFILL MATERIAL SHALL BE PROVIDED AND SHAPED TO PROVIDE A CONTINUOUS AND UNIFORM BEDDING. THE BEDDING MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, BASED ON ITS LOCATION.
- COMPACTION OF PIPE TRENCHES SHALL BE IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. COMPACTION SHALL BE 95% OF AASHTO T-180 IN NON-TRAFFIC AREAS AND 98% OF AASHTO T-180 IN TRAFFIC AREAS.
- 9. WATER MAINS SHALL HAVE A MINIMUM OF 48" COVER FROM FINISHED GRADE.

CALL 2 BUSINESS DAYS BEFORE YOU DIG IT'S THE LAW! DIAL 811



		-	
В	DATE	REVISIONS	No.
'	1	NOT FOR CONSTRUCTION	\bigcirc

POTABLE WATER SYSTEM NOTES CONTINUED:

- 10. ALL PVC PRESSURE PIPING SHALL USE CONCRETE THRUST BLOCKING AT ALL BENDS AND TERMINATIONS. THRUST BLOCK SIZING SHALL BE IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. PVC WATER MAINS SHALL HAVE TWO LOCATING WIRES INSTALLED (ON THE TOP AND BOTTOM) ALONG THE
- 11. ALL WATER MAIN FITTINGS SHALL BE DIP FOR PVC AND DIP WATER MAINS 3" AND ABOVE AND USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. PIPE DEFLECTIONS AT JOINTS SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDED DEFLECTION
- 12. ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH THE TOP SET TO FINAL GRADE IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. VALVE BOXES IN TRAFFIC AREAS SHALL BE LOCKABLE OR NON-POP LIDS IN ACCORDANCE WITH STANDARD DETAIL 478-4.1A OF THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION. VALVES DEEPER THAN 5' SHALL HAVE VALVE NUT EXTENSIONS WHICH SHALL BE WELDED AS ONE PIECE.
- 13. ALL HYDRANTS, GATE VALVES AND TAPPING GATE VALVES SHALL HAVE STAINLESS STEEL STEMS.
- 14. FIRE HYDRANTS ARE TO BE FACTORY PAINTED RED. (VERIFY GPM FOR CAP COLORS)

STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, SECTION 481.5.2.6.

- 15. FIRE HYDRANTS ARE TO BE INSTALLED WITH THE STEAMER CONNECTION FACING THE ROADWAY.
- 16. SITE CONTRACTOR SHALL PROVIDE ALL CHAINS, LOCKS AND KEYS FOR DDCVA'S AS REQUIRED BY THE LOCAL FIRE DEPARTMEN 17. ALL NEW AND RELOCATED WATER MAINS SHALL BE PRESSURE AND LEAK TESTED IN ACCORDANCE WITH AWWA STANDARD C600, LATEST EDITION. PRESSURE TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, SECTION 481.5.2. PRESSURE TESTING SHALL BE AT A PRESSURE OF AT LEAST 150 PSI FOR A MINIMUM DURATION OF 2 HOURS. ALLOWABLE LEAKAGE SHALL BE WITHIN THE PARAMETERS OF THE CITY OF OCALA
- 18. ALL NEW AND RELOCATED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.345, F.A.C.
- 19. ALL PIPE AND PIPE FITTINGS FOR NEW AND RELOCATED WATER SERVICES SHALL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT. ALL SOLDERS AND FLUX FOR NEW AND RELOCATED WATER SERVICES SHALL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.

21. SITE CONTRACTOR SHALL SUPPLY AND INSTALL ALL BACKFLOWS, METERS AND METER BOXES NOT PROVIDED BY THE LOCAL

20. CONTRACTOR'S SURVEYOR SHALL PROVIDE AS-BUILT DRAWINGS, INCLUDING ALL UNDERGROUND UTILITIES, IN CAD FORMAT TO THE ENGINEER USING THE DRAFTING STANDARDS REQUIRED BY THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.

WATER PROVIDER.

- 22 CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF OCALA UTILITIES DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 23. ALL WATER AND SEWER TAPS SHALL BE SCHEDULED AT LEAST 48 HOURS IN ADVANCE WITH THE CITY OF OCALA UTILITIES
- 4. ALL ON-SITE WATER AND SEWER CONSTRUCTION REQUIRES A PLUMBING PERMIT WITH A SCHEDULED INSPECTION BY THE CITY OF OCALA UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL
- 25. CONNECTION TO EXISTING POTABLE WATER SYSTEMS SHALL NOT BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE AND ACCEPTED FOR MAINTENANCE BY THE CITY OF OCALA UTILITIES DEPARTMENT AND FDEP.
- 26. JUMPER CONNECTIONS MAY BE USED TO FILL OR FLUSH WATER MAINS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, STANDARD DETAIL 488-5.1. A PERMIT MUST BE OBTAINED FROM THE CITY OF OCALA WATER RESOURCES DEPARTMENT PRIOR TO THE CONSTRUCTION OF THE TEMPORARY JUMPER CONNECTION

BACTERIOLOGICAL SAMPLING INDICATED IN RED OR PINK. THE SAMPLE NUMBERS SHALL CORRESPOND TO THOSE ON THE

- 27. ALL COMMERCIAL BUILDING PERMITS AND METERS SHALL BE PROCESSED THROUGH THE CITY OF OCALA UTILITIES WATER AND SEWER CUSTOMER SERVICE DEPARTMENT AND SHALL BE ACCOMPANIED BY A SET OF APPROVED SET OF CIVIL DESIGN PLANS. 28. THE CONTRACTOR SHALL OBTAIN A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE FROM THE CITY OF OCALA UTILITIES DEPARTMENT. THE CONTRACTOR SHALL PRESENT A SET OF AS-BUILT PLANS WITH THE LOCATIONS OF THE
- BACTERIOLOGICAL SAMPLE LAB SHEETS. 29. SITE CONTRACTOR IS RESPONSIBLE FOR ALL BACTERIOLOGICAL TESTING AND CHLORINATION.

WATER & SEWER SYSTEM CONSTRUCTION AND MAINTENANCE NOTE: THE UNDERGROUND WATER AND SEWER SYSTEMS CONSTRUCTED ON THIS SITE SHALL BE CONSTRUCTED. TESTED AND INSPECTED IN ACCORDANCE WITH THE FOLLOWING:

BY THE CITY WATER & SEWER DEPARTMENT

- CITY OF OCALA "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER AND SEWER INFRASTRUCTURE". CONSTRUCT ALL GRAVITY SEWERS 8" AND ABOVE INCLUDING MANHOLES AND ALL SEWER SERVICES 6" OR LESS TO THE FIRST CLEANOUT UPSTREAM FROM THE 8" OR ABOVE SEWER MAIN TO CITY STANDARDS. INSPECTION WILL BE PERFORMED
- STATE OF FLORIDA "STANDARD PLUMBING CODE" ALL GRAVITY SEWER SERVICES 6" OR LESS FROM THE FIRST CLEANOUT UPSTREAM FROM THE 8" OR ABOVE GRAVITY SEWER MAIN WILL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING

WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT. THESE FACILITIES WILL BE MAINTAINED BY THE DEVELOPMENT.

REUSE SYSTEM:

- CITY OF OCALA "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER AND SEWER
- INFRASTRUCTURE" CONSTRUCT ALL POTABLE WATER MAINS AND SERVICES, UP TO THE POINT OF METERING, TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.

CONSTRUCTED TO CITY STANDARDS OR NFPA 24 AS REQUIRED. INSPECTION AND TESTING WILL BE PERFORMED BY THE

CITY WATER & SEWER DEPARTMENT. CITY OF OCALA WILL MAINTAIN THESE FACILITIES UP TO DDC LOCATIONS. STATE OF FLORIDA "STANDARD PLUMBING CODE". ALL WATER SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT.

ALL FIRE MAINS AND HYDRANTS, FROM THE CITY WATER MAIN TO WITHIN FIVE FEET (5') OF THE BUILDING, SHALL BE

THESE FACILITIES WILL BE MAINTAINED BY THE DEVELOPMENT.

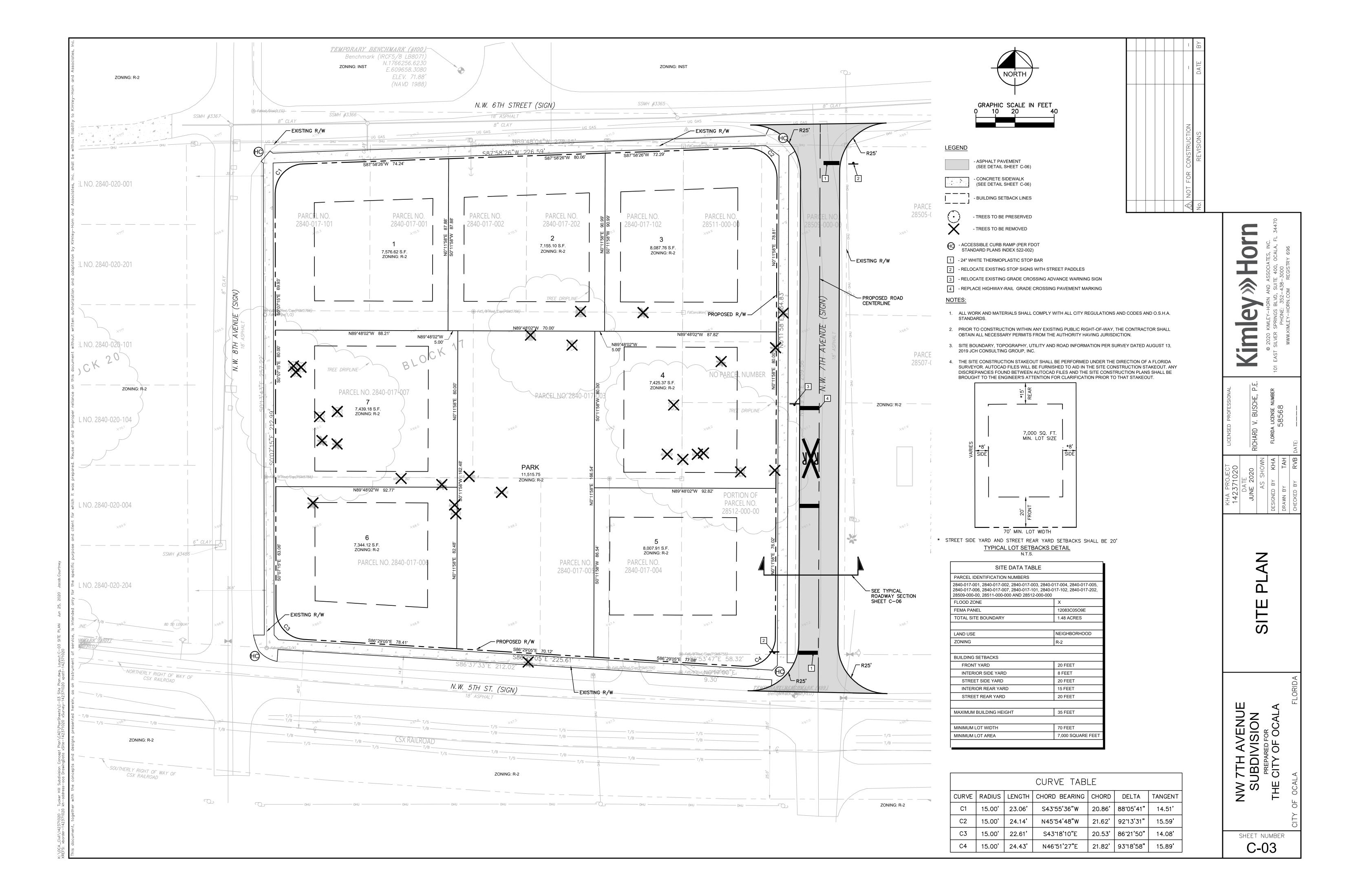
- CITY OF OCALA "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER AND SEWER INFRASTRUCTURE". CONSTRUCT ALL REUSE MAINS AND SERVICES, UP TO THE POINT OF METERING, TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY WATER & SEWER DEPARTMENT.
- STATE OF FLORIDA "STANDARD PLUMBING CODE" ALL REUSE SERVICES DOWNSTREAM FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO FLORIDA STANDARD PLUMBING CODE REQUIREMENTS. INSPECTION AND TESTING WILL BE PERFORMED BY THE CITY BUILDING DEPARTMENT. THESE FACILITIES WILL BE MAINTAINED BY THE DEVELOPMENT.

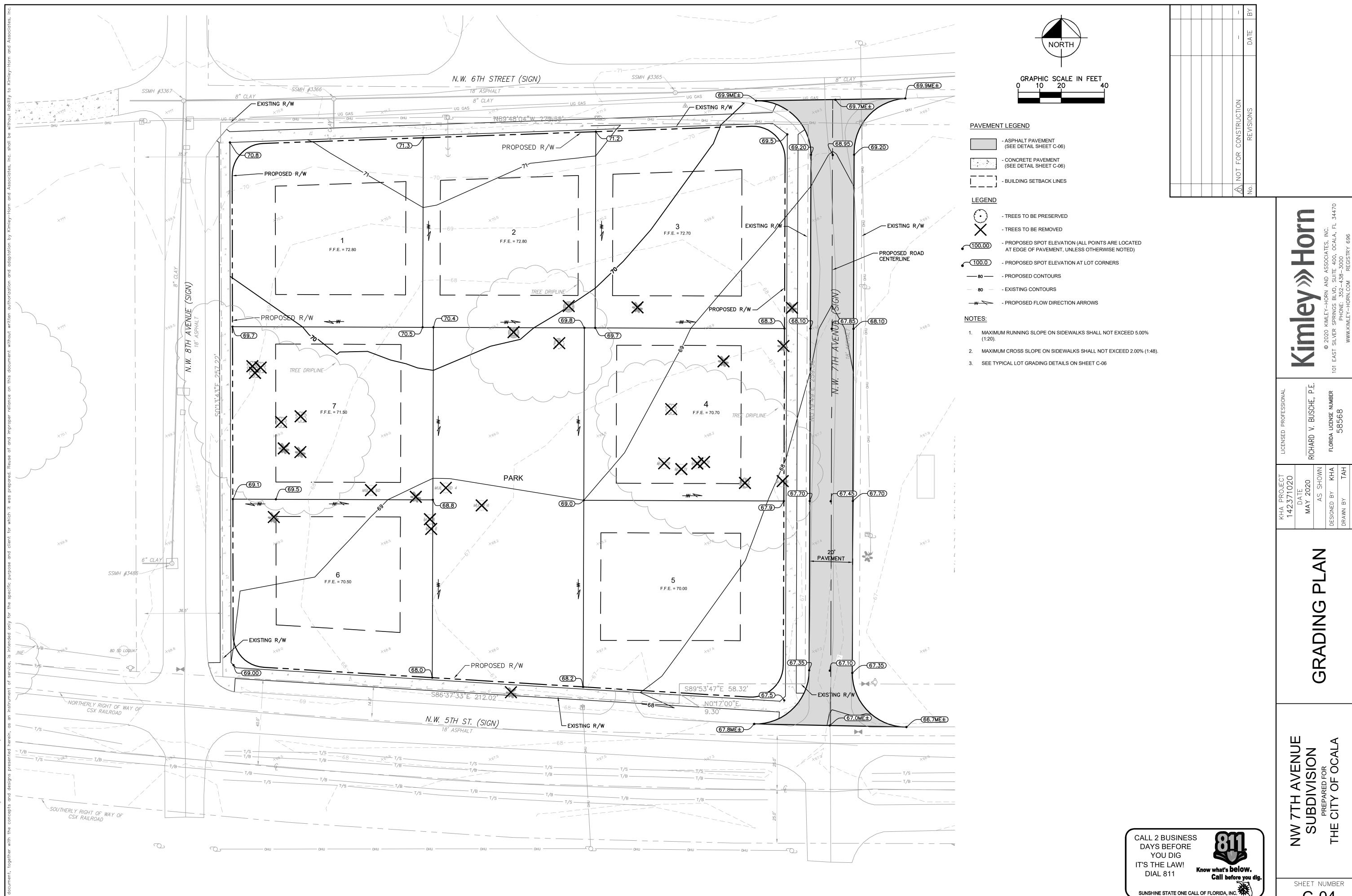
PRIOR TO ANY UNDERGROUND WATER, SEWER, OR REUSE CONSTRUCTION ON THIS SITE THE CONTRACTOR SHALL SET UP AN ON-SITE MEETING WITH THE CITY OF OCALA PROJECT INSPECTORS (352) 401-6935 OR (352) 351-6712 TO DISCUSS SHOP DRAWINGS, INSTALLATION, INSPECTION, TESTING AND AS-BUILT REQUIREMENTS.

Ш (7

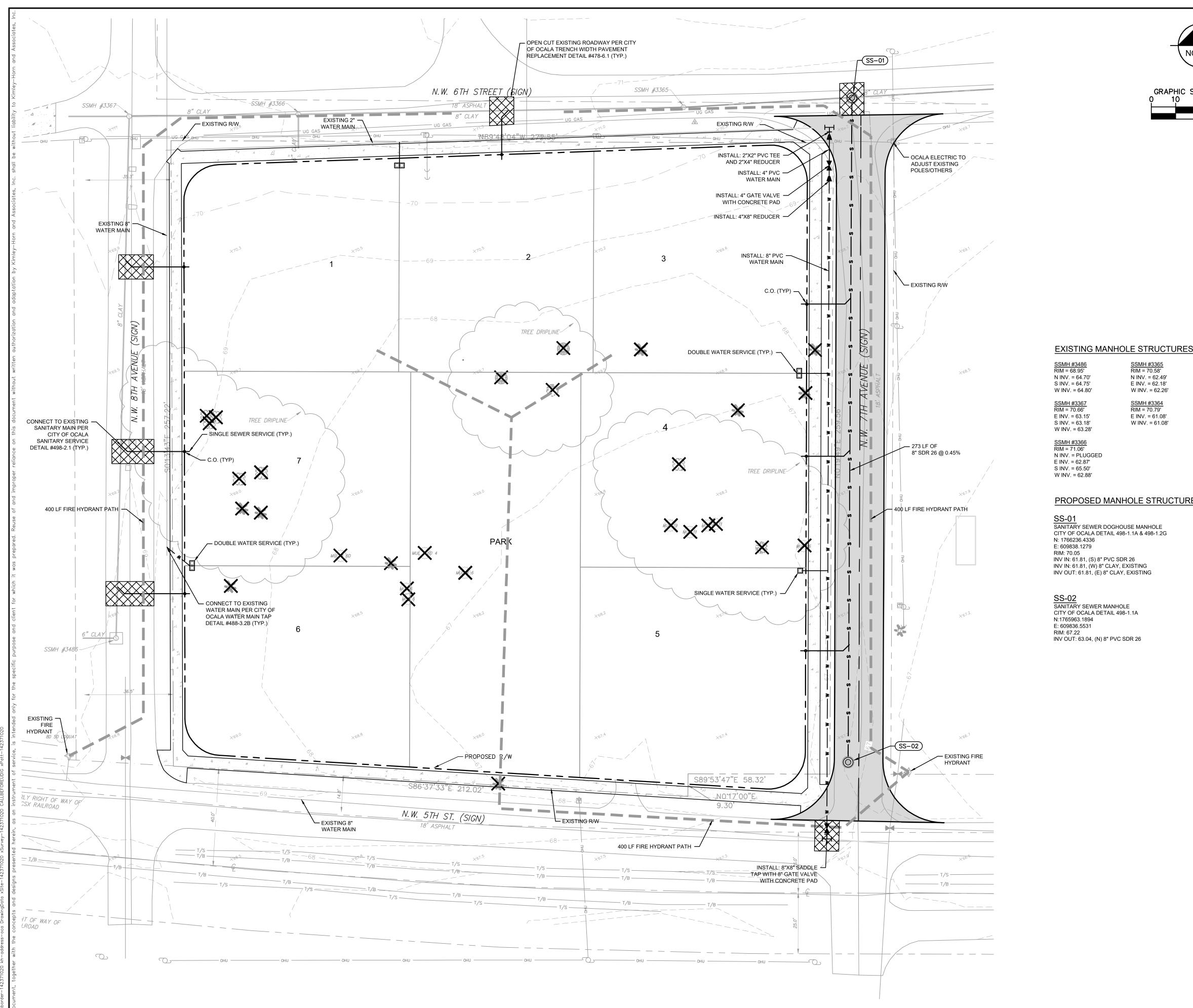
 \leq Image: Control of the con $\geq \infty$

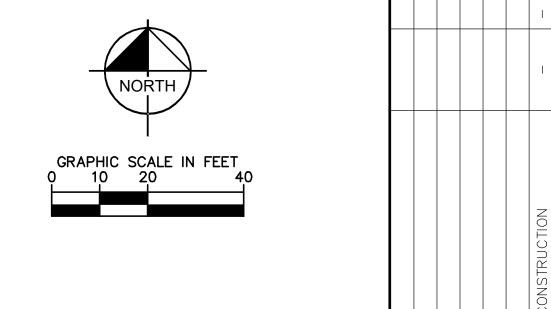
SHEET NUMBER





C-04







LEGEND

- PROPOSED SANITARY MANHOLE

- BACT. SAMPLE POINT

E INV. = 63.15' E INV. = 61.08' S INV. = 63.18' W INV. = 61.08'

N INV. = 62.49'

E INV. = 62.18'

W INV. = 62.26'

SSMH #3366 RIM = 71.06' N INV. = PLUGGED E INV. = 62.87'

PROPOSED MANHOLE STRUCTURES

SS-01
SANITARY SEWER DOGHOUSE MANHOLE
CITY OF OCCURRENCE ASSETS AS 498-1.2G E: 609838.1279 RIM: 70.05

INV IN: 61.81, (S) 8" PVC SDR 26 INV IN: 61.81, (W) 8" CLAY, EXISTING INV OUT: 61.81, (E) 8" CLAY, EXISTING

SS-02 SANITARY SEWER MANHOLE CITY OF OCALA DETAIL 498-1.1A

N:1765963.1894 E: 609836.5531 RIM: 67.22 INV OUT: 63.04, (N) 8" PVC SDR 26

SS-XX - SANITARY MANHOLE LABEL

- FIRE HYDRANT ASSEMBLY

1. ALL UTILITY CONSTRUCTION SHALL CONFORM WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, LATEST EDITION. THE CONTRACTOR IS

NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND

3. SEE SHEET C-07 FOR UTILITY DETAILS.

(PVC), ANSI/AWWA C-900, DR18, 150 PSI PRESSURE RATING, UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM 48" COVER FROM FINISHED GRADE.

(PVC), ASTM D-3034, SDR-26, UNLESS OTHERWISE NOTED.

SEWER DEMANDS

IRRIGATION DEMANDS: 0 GAL/DAY

8. ANY WATER MAIN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE UTILITY AS-BUILT DRAWINGS.

- SS - - PROPOSED SANITARY SEWER PIPE

- GATE VALVE

RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL RULES AND STANDARDS CONTAINED THEREIN.

2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DURING CONSTRUCTION.

4. ALL POTABLE WATER MAINS SHALL BE POLYVINYL CHLORIDE

5. ALL SANITARY SEWER MAINS SHALL BE POLYVINYL CHLORIDE

6. UTILITY AS-BUILT DRAWINGS, MEETING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE

POTABLE WATER DEMANDS: 2,100 GAL/DAY

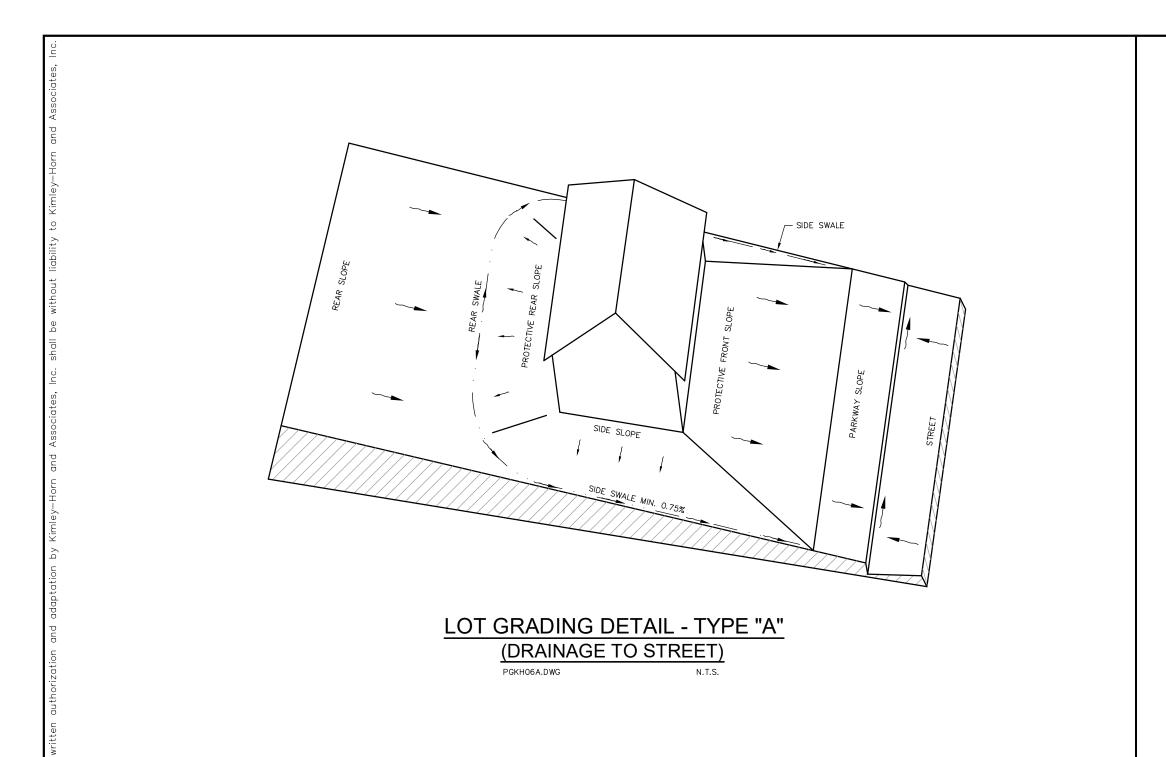
1,925 GAL/DAY

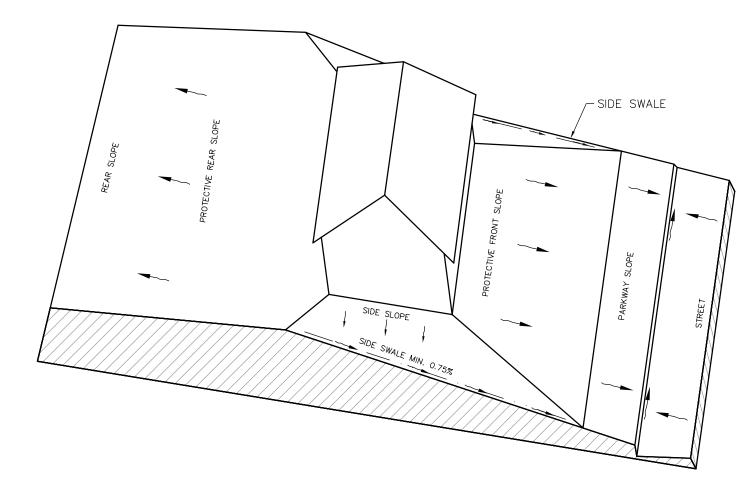
Kim

NW 7TH AVENUE SUBDIVISION

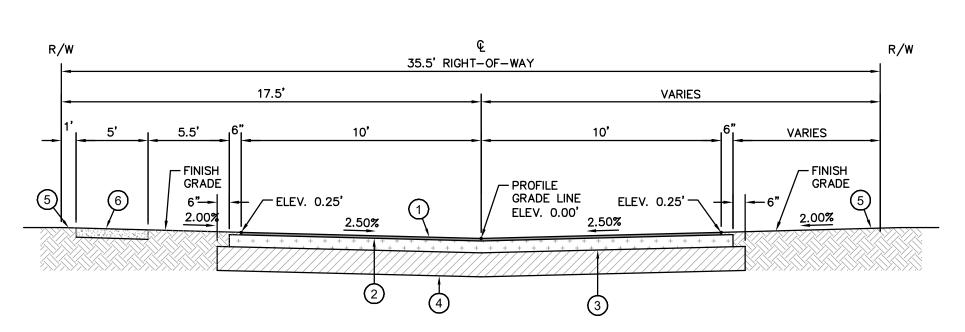
SHEET NUMBER C-05

CALL 2 BUSINESS DAYS BEFORE YOU DIG IT'S THE LAW! **DIAL 811** SUNSHINE STATE ONE CALL OF FLORIDA, INC.





LOT GRADING DETAIL - TYPE "B" (DRAINAGE TO BOTH STREET AND REAR LOT LINE) PGKH07A.DWG



- 1) 1-1/2" MINIMUM THICK TYPE SP-9.5 ASPHALTIC CONCRETE SURFACE
- 2 BITUMINOUS PRIME COAT
- 3 8" MINIMUM THICK LIMEROCK BASE WITH A MINIMUM LBR OF 100 COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180
- 4 12" MINIMUM THICK STABILIZED SUBGRADE WITH A MINIMUM LBR OF 40, COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180 (UNDERENT ROADWAYS AND BACKFILL WITH CLEAN FILL WHEN
- 5 2.00% MINIMUM SLOPE PROVIDE SOD
- 6 CONCRETE SIDEWALK (4" THICKNESS; 3,000 P.S.I. @ 28 DAYS)

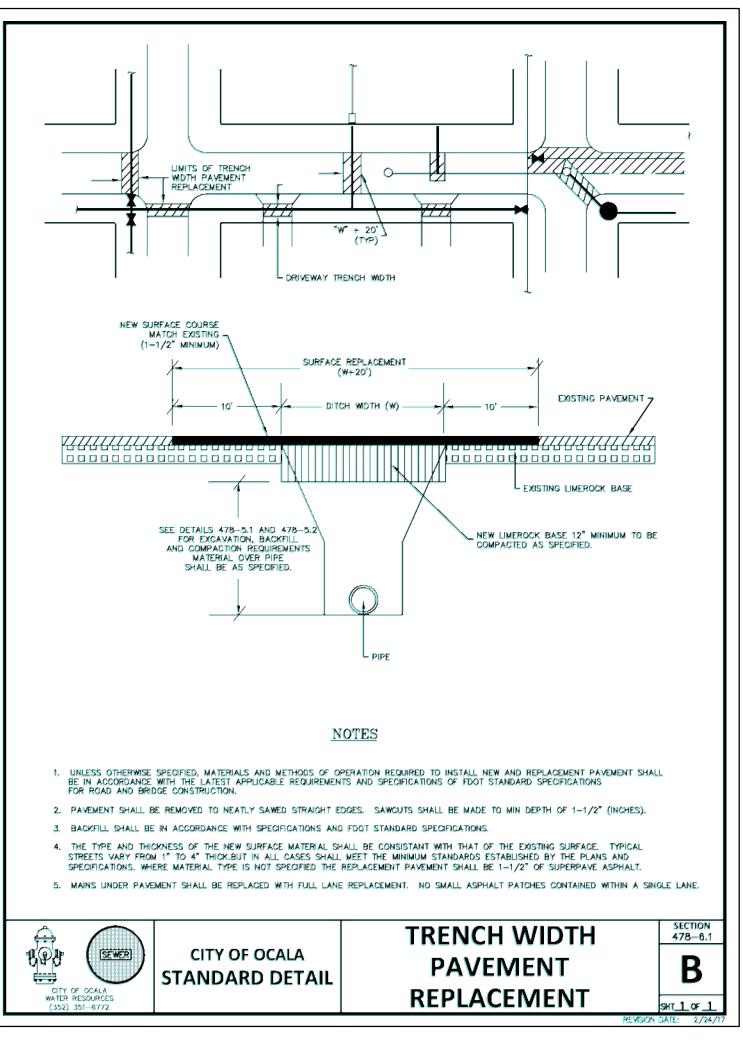


TABLE OF SIDEWALK JOINTS

P.C. AND P.T. OF CURVES.

OR AS NOTE)

LOCATION

5'- 0" CENTER TO CENTER ON SIDEWALKS. (NOT LESS THAN 4' AND NOT GREATER THAN 10')

WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. JUNCTION OF EXISTING AND NEW SIDEWALKS AT INTERVALS NOT GREATER THAN 100'.

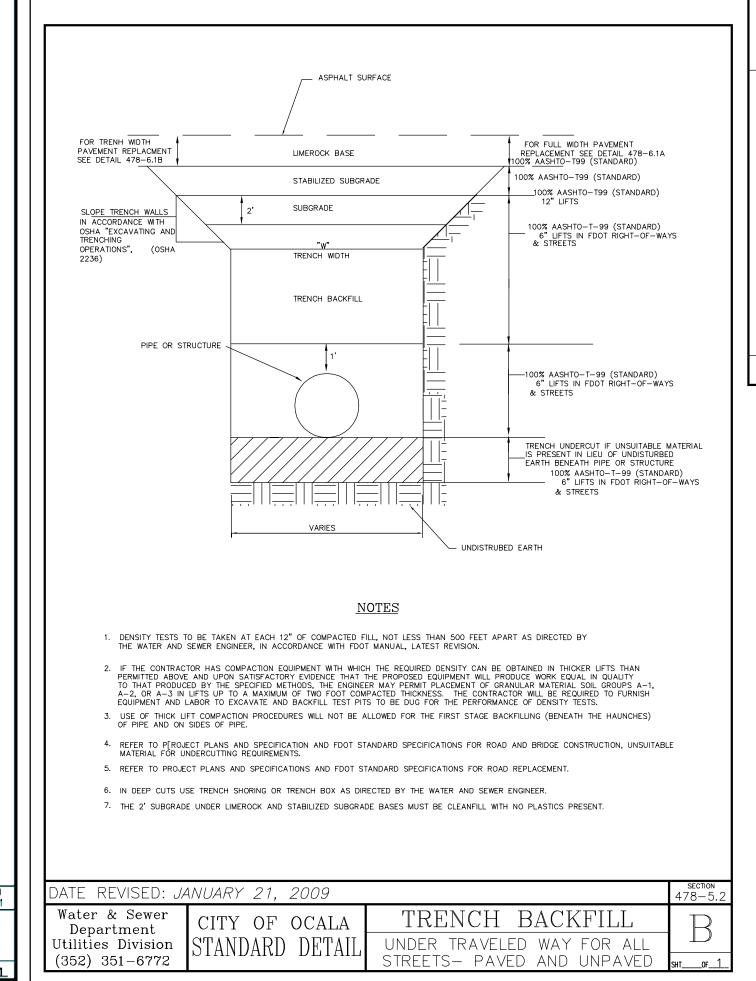
ALL CURB RAMPS SHALL BE EMBOSSED WITH A TACTILE SURFACE PER FDOT STANDARD PLANS INDEX NO. 522—002

LOCATION

NOTE:

RESIDENTIAL AREAS 4"
AT DRIVEWAYS AND OTHER AREAS 6"

CONCRETE TO BE 3,000 P.S.I. AT 28 DAYS





0 Y

NOIL CONSTRUCT DETAILS

NW 7TH AVENUE SUBDIVISION PREPARED FOR THE CITY OF OCALA

SHEET NUMBER

C-06

C

SAW CUT & REMOVE EXIST. ASPHALT PROPOSED ASPHALTIC CONCRETE EXIST. ASPHALT — (SEE APPLICABLE TYPICAL SECTION) LIMEROCK BASE — EXIST. BASE -STABILIZED SUB-BASE — EXIST. SUB-BASE — PRIME COAT -EXIST. BASE -

TYPICAL ROAD SECTION TYPE 'C' \ 1/2" PREMOLDED EXPANSION JOINT TYPE 'B' TYPE 'A' NOT TO SCALE SIDEWALK JOINTS CALL 2 BUSINESS SIDEWALK CONSTRUCTION DAYS BEFORE **NEW ASPHALT PAVEMENT** YOU DIG PGKH34A.DWG TIE-IN TYPICAL SECTION IT'S THE LAW! Know what's **below**. DIAL 811 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

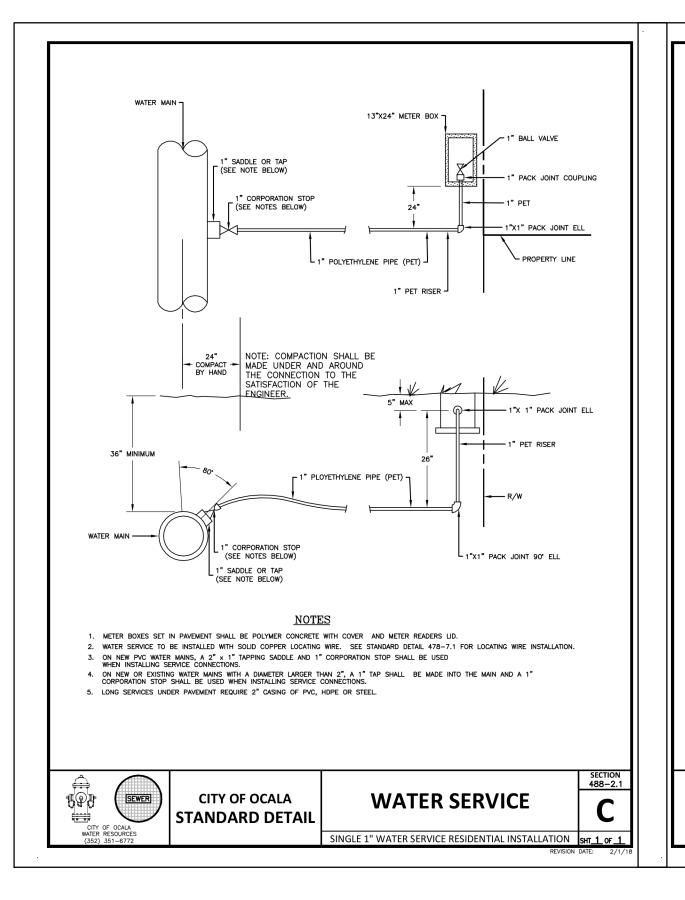
SECTION VIEW

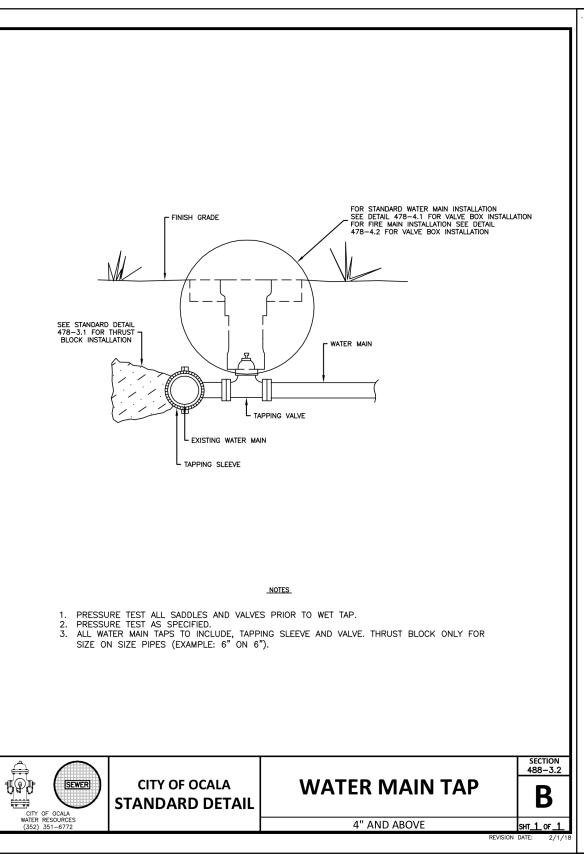
EXISTING _

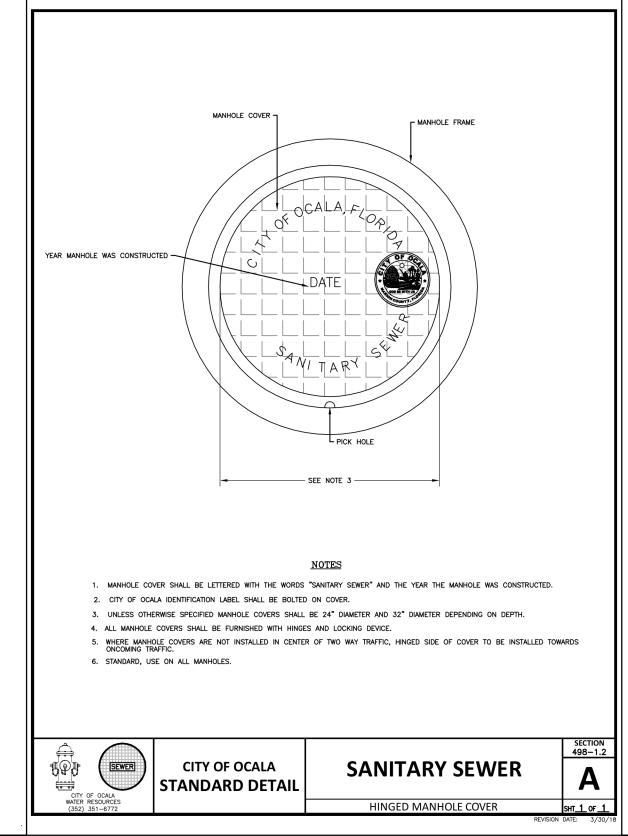
TYPE "C" JOINT -

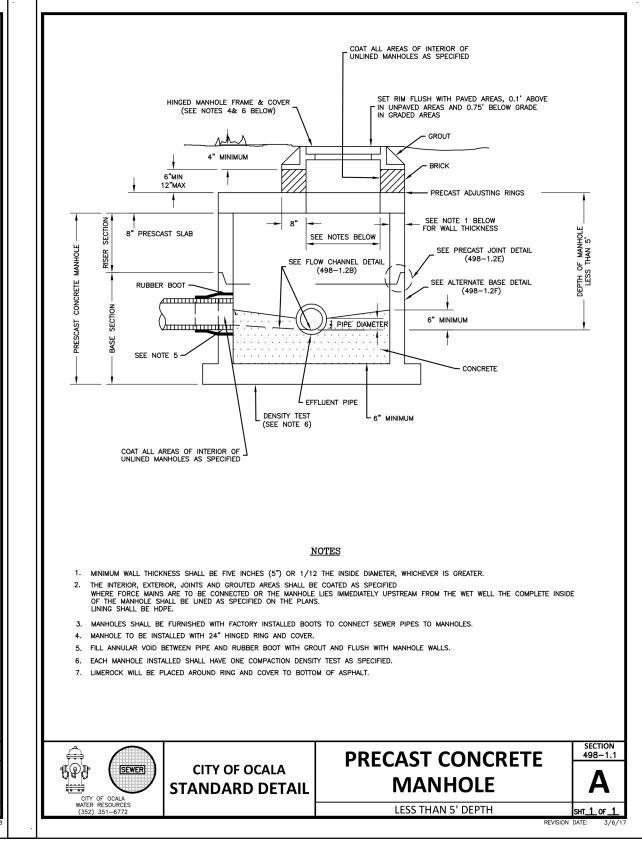
NEW SIDEWALK

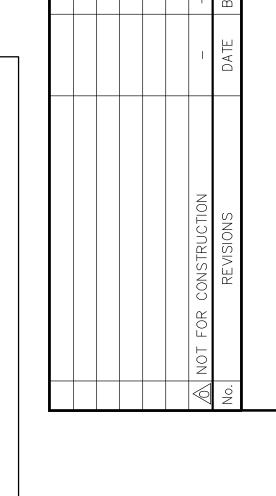
<u>PLAN</u>











0

<u>e</u>

Kim

V. BUSCHE, P.E.

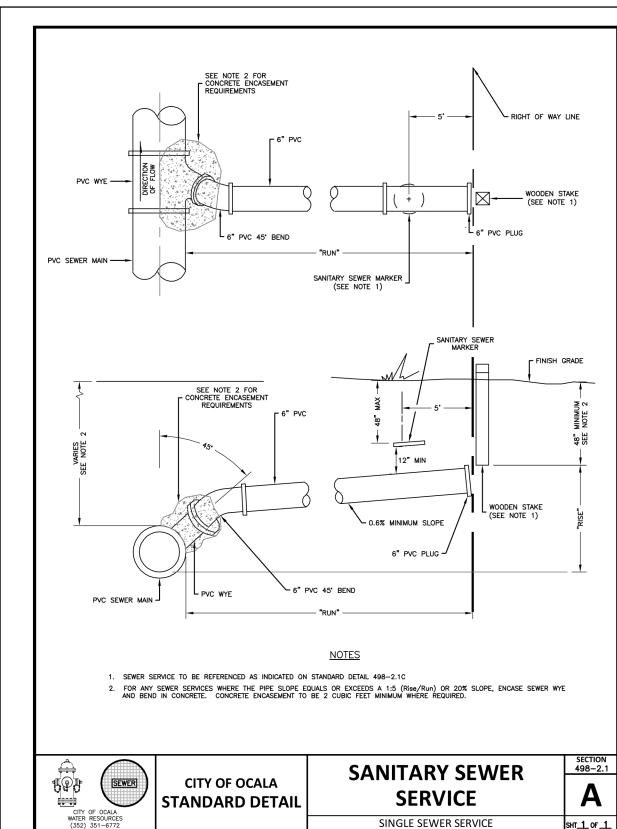
AIL

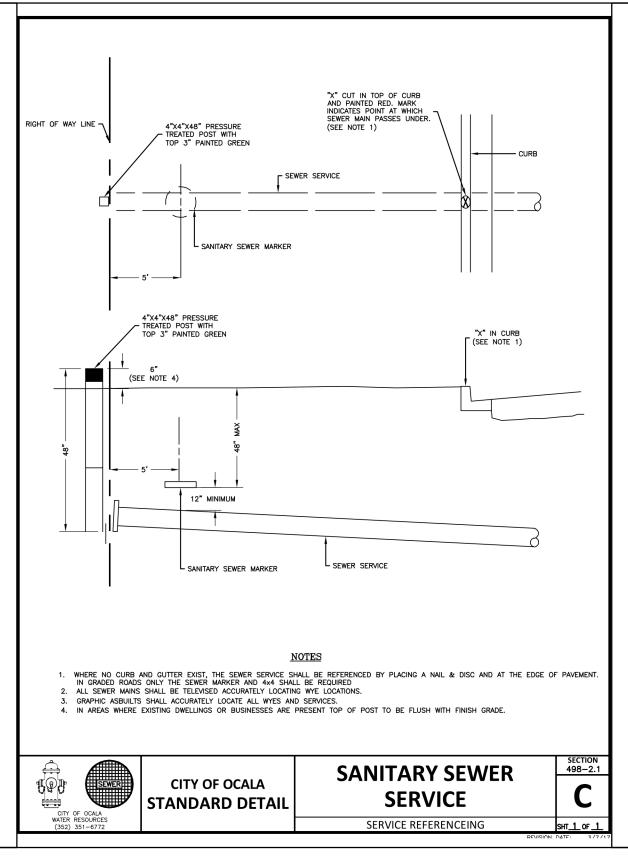
UTILIT

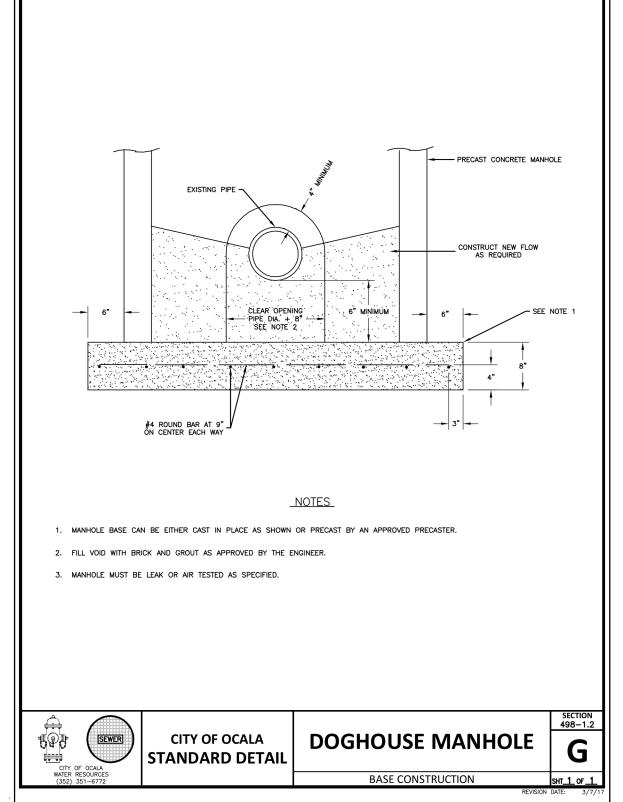
NW 7TH AVENUE SUBDIVISION PREPARED FOR THE CITY OF OCALA

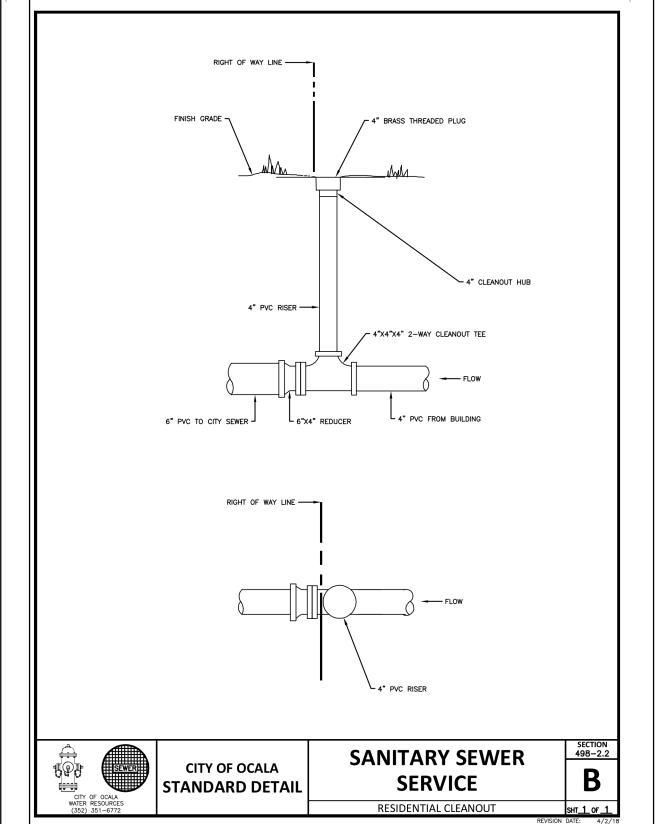
SHEET NUMBER

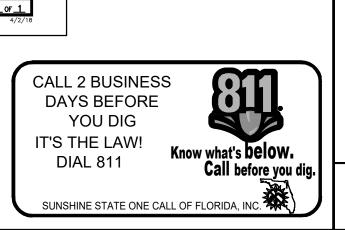
C-07

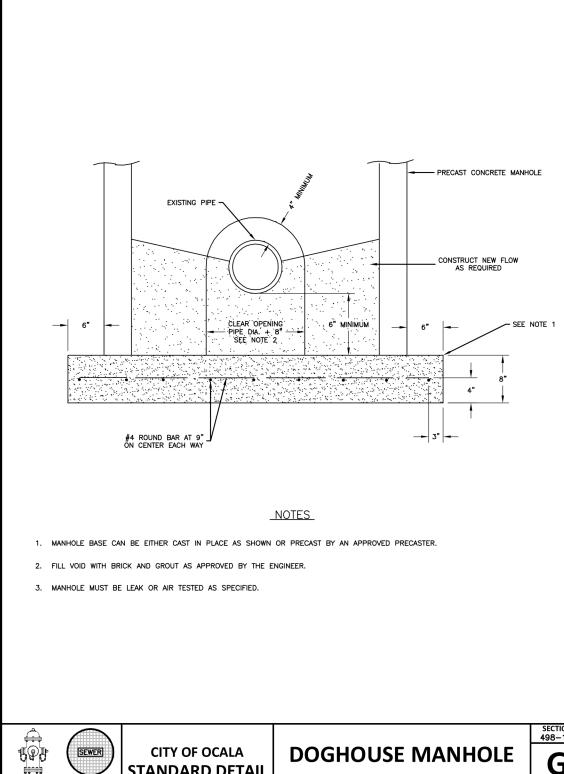












CITY OF OCALA

A PORTION OF SECTION 18, TOWNSHIP 15 SOUTH, RANGE 22 EAST CITY OF OCALA MARION COUNTY, FLORIDA

VICINITY MAP:

NOT TO SCALE



SHEET 1 OF 2 ONE IS NOT COMPLETE WITHOUT THE OTHER

SEE SHEET 2 OF 2 TOPOGRAPHIC DATA

FLOOD CERTIFICATION:

PROPERTY LIES IN FLOOD ZONE "X" — AN AREA OF MINIMAL FLOODING PER THE FLOOD INSURANCE RATE MAP NUMBER 12083C0509E, EFFECTIVE APRIL 19, 2017.

NOTES:

DATE OF FIELD SURVEY: AUGUST 13, 2019.

SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD. PUBLIC RECORDS NOT SEARCHED BY JCH CONSULTING GROUP, INC.

3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED. 4. BEARINGS ARE ASSUMED BASED ON THE FLORIDA WEST GRID NAD-83, (2011 ADJUSTMENT).

5. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.

ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING

7. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE. 8. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY

ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM JCH CONSULTING GROUP, INC. 9. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE OF LOCATIONS PROVIDED BY IRTH ONE CALL TICKET NO: 205904937 AND CITY OF

10. HORIZONTAL CLOSURE FOR SUBJECT PARCEL IS 1/222,879 AND VERTICAL CLOSURE -0.003.. 11. THERE IS NO OBSERVED EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK

CONSTRUCTION OR REPAIRS.

OCALA WATER AND SEWER ASSET GIS DATA. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE NOT VERIFIED BY JCH CONSULTING GROUP, INC.

12. EXCEPT AS SHOWN HEREON, THERE IS NO VISIBLE EVIDENCE OF EASEMENTS OR RIGHTS OF WAY ACROSS SUBJECT PROPERTY.

13. ACCESS TO THE SUBJECT PROPERTY IS OBTAINED FROM NW 5TH STREET, NW 6TH STREET, NW 7TH AVENUE, AND NW 8TH AVENUE (A PUBLIC RIGHT OF WAY). 14. WITHOUT EXPRESSING A LEGAL OPINION AS TO THE OWNERSHIP OR NATURE OF THE POTENTIAL ENCROACHMENT, THE EVIDENCE, LOCATION, AND EXTENT OF

POTENTIALLY ENCROACHING STRUCTURAL APPURTENANCES AND PROJECTIONS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN HEREON.

15. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

16. THERE WAS NO APPARENT WETLAND DELINEATION DONE ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.

18. TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.

17. THERE IS NO OBSERVED SURFACE EVIDENCE OF OF CEMETERIES OR FAMILY BURIAL SITES.

(PER QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 6862, PAGE 258 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA)

MARION COUNTY PARCEL ID NO. 2840-020-204, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTHEAST 1/4 OF BLOCK 20, LESS THE NORTH 82.0 FEET OF CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA

RECORD DESCRIPTION:

MARION COUNTY PARCEL ID NO. 2840-020-004, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 41.0 FEET OF THE NORTH 82.0 FEET OF THE SOUTHEAST 1/4 OF BLOCK 20, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

AND;

MARION COUNTY PARCEL ID NO. 2840-020-104, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 41.0 FEET OF THE SOUTHEAST I /4 OF BLOCK 20, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

MARION COUNTY PARCEL ID NO. 2840-020-101, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 41.0 FEET OF THE NORTHEAST 1/4 OF BLOCK 20, CLINE'S SUBDIVISION. ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

MARION COUNTY PARCEL ID NO. 2840-020-201, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 41.0 FEET OF THE NORTH 82.0 FEET OF THE NORTHEAST 1/4 OF BLOCK 20, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

AND;

MARION COUNTY PARCEL ID NO. 2840-020-001, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 41.0 FEET OF THE NORTHEAST 1/4 OF BLOCK 20, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

MARION COUNTY PARCEL ID NO. 2840-0 17-102, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 85.0 FEET OF THE EAST 40.0 FEET OF BLOCK 17, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

MARION COUNTY PARCEL ID NO. 2840-017-202, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 85.0 FEET OF THE WEST 40.0 FEET OF THE EAST 80.0 FEET OF BLOCK 17, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

AND;

MARION COUNTY PARCEL ID NO. 2840-017-002, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 85.0 FEET OF THE WEST 40.0 FEET OF THE EAST 120.0 FEET OF BLOCK 17, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

MARION COUNTY PARCEL ID NO. 2840-017-001 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 85.0 FEET OF THE EAST 40.0 FEET OF THE WEST 93.2 FEET, BLOCK 17, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

MARION COUNTY PARCEL ID NO. 2840-017-101 MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 85.0 FEET OF THE WEST 53.2 FEET, BLOCK 17, CLINE'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK "A", PAGE 58, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

AND;

COMMENCING 420 FEET SOUTH AND 210 FEET WEST OF THE NORTHEAST CORNER OF THE NORTHWEST 1/4, THENCE SOUTH 100 FEET, EAST 40 FEET, NORTH 100 FEET, WEST 40 FEET OF SECTION 18, TOWNSHIP 15 SOUTH, RANGE 22 EAST, ACCORDING TO OR BOOK 1942, PAGES 0665 AND 0666, MARION COUNTY, FLORIDA

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J17.050-.052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CHRISTOPHER J. HOWSON FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. (CERTIFICATE OF AUTHORIZATION NO. LB 8071)



SU PHIOR

J.O.# 190581 DWG.# 190581R3 SHT 1 OF 2

= DENOTES CONCRETE = DENOTES ASPHALT

UTILITY CONTACTS:

CITY OF OCALA TELECOMMUNICATIONS

CITY OF OCALA. WATER AND SEWER DEPARTMENT

CONTACT: FIBER TECHNICIANS

CONTACT: VICKI SCHOOLEY

OCALA ELECTRIC UTILITY CONTACT: OEU LOCATOR

CENTURYLINK - OCALA

TECO PEOPLES GAS - OCALA

CONTACT: PHILLIS BRIDGES

CONTACT: DISPATCH 1-855-742-6062

1-813-228-4025

1-352-401-3999

1-352-351-6775

1-352-351-6650

FIBER

WATER, SEWER,

FIBER, TELEPHONE

GAS, NATURAL GAS

LEGEND AND ABBREVIATIONS:

± MORE OR LESS EL. ELEVATION

LS LAND SURVEYOR

I.D. IDENTIFICATION

RADIUS

(P) PLAT MEASURE

(D) DEED MEASURE

C.D. CHORD LENGTH C.B. CHORD BEARING

POC POINT ON CURVE POINT ON LINE

ARC LENGTH

(C) CALCULATED MEASURE

PC POINT OF CURVATURE PT POINT OF TANGENCY PI POINT OF INTERSECTION

P.O.C. POINT OF COMMENCEMENT P.O.B. POINT OF BEGINNING

CMP CORRUGATED METAL PIPE

ORB OFFICIAL RECORDS BOOK

HDPE HIGH DENSITY POLYETHYLENE NAVD NORTH AMERICAN VERTICAL DATUM

REINFORCED CONCRETE PIPE

NGVD NATIONAL GEODETIC VERTICAL DATUM

CERTIFIED CORNER RECORD

RLS REGISTERED LAND SURVEYOR CM CONCRETE MONUMENT

IRC IRON ROD AND CAP

CLF CHAIN LINK FENCE

■ YARD DRAINAGE

S SANITARY MANHOLE

⊗ SANITARY CLEANOUT © ELECTRIC MANHOLE

■ ELECTRIC RISER BOX

□ TELEPHONE RISER BOX

■ BACK FLOW PREVENTER

Marian Alan Conditioner PAD

 \leftarrow UTILITY POLE GUY ANCHOR

▲ GAS LINE MARKER

→ METAL UTILITY POLE

◆ SPOT/GROUND LIGHT

™ ELECTRIC VAULT

* WETLAND FLAG

FLAG POLE *™ MAILBOX*

→ SIGN BOLLARD

V ELECTRIC TRANSFORMER

™ WOOD UTILITY POLE

CABLE TELEVISION RISER BOX

► IRRIGATION CONTROL VALVE

© ELECTRIC METER

UTILITY RISER

Q WATER SPIGOT

■ WATER METER

₩ WA TER VALVE

♦ FIRE HYDRANT

₩ GAS VALVE

G GAS METER

⇔ LIGHT POLE

oxtimes WELL

CURB INLET GRATE

DIP DUCTILE IRON PIPE

PB PLAT BOOK

R'/W RIGHT OF WAY

PG(S) PAGE(S)

FND FOUND

ESMT EASEMENT SEC SECTION

REC RECOVERED

IR IRON ROD

IP IRON PIPE

⊕ Ⅲ CATCH BASIN © STORM MANHOLE

PVC POLYVINYL CHLORIDE

NO. NUMBER

LB LICENSED BUSINESS

ORB OFFICIAL RECORDS BOOK CENTERLINE

Δ DELTA (CENTRAL ANGLE)

PCC POINT OF COMPOUND CURVATURE

FEDERAL EMERGENCY MANAGEMENT AGENCY

PRC POINT OF REVERSE CURVATURE

ELECTRIC:

CHINABERRY CYPRESS DOGWOOD ELM € GUM HICKORY THAT HOLLY () LAUREL OAK LIVE OAK MAGNOLIA MAPLE MIMOSA } MISC E OAK PALM

TREE LEGEND: (SIZE DENOTED INSIDE SYMBOL) CAMPHOR

() CEDAR CHERRY

PECAN PINE TREE

SUGAR HACKBERRY

