









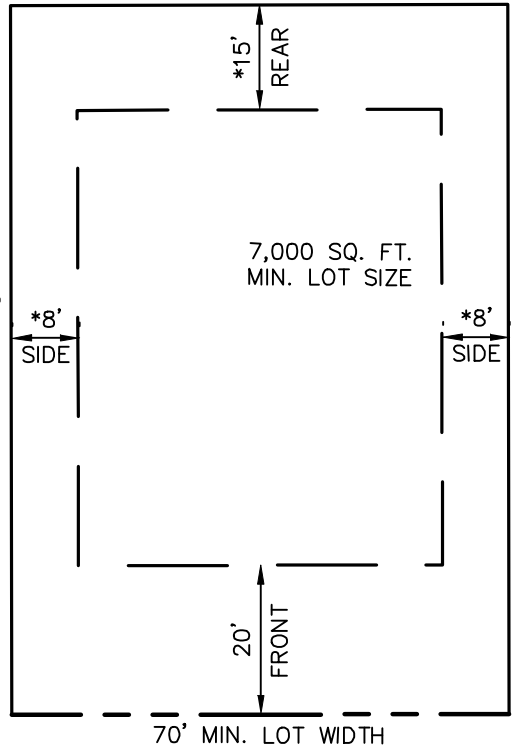


- | | |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------|
| <u>LEGEND</u> | |
|  | - ASPHALT PAVEMENT
(SEE DETAIL SHEET C-06) |
|  | - CONCRETE SIDEWALK
(SEE DETAIL SHEET C-06) |
|  | - BUILDING SETBACK LINES |
|  | - TREES TO BE PRESERVED |
|  | - TREES TO BE REMOVED |
|  | - ACCESSIBLE CURB RAMP (PER FDOT
STANDARD PLANS INDEX 522-002) |
|  | - 24" WHITE THERMOPLASTIC STOP BAR |
|  | - RELOCATE EXISTING STOP SIGNS WITH STREET PADDES |
|  | - RELOCATE EXISTING GRADE CROSSING ADVANCE WARNING SIGN |
|  | - REPLACE HIGHWAY-RAIL GRADE CROSSING PAVEMENT MARKING |

NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
3. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED AUGUST 13, 2019 IGC CONSULTING GROUP, INC.
4. THE SITE CONSTRUCTION TAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION TAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND THE SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT TAKEOUT.



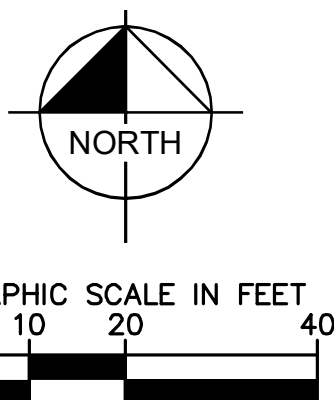
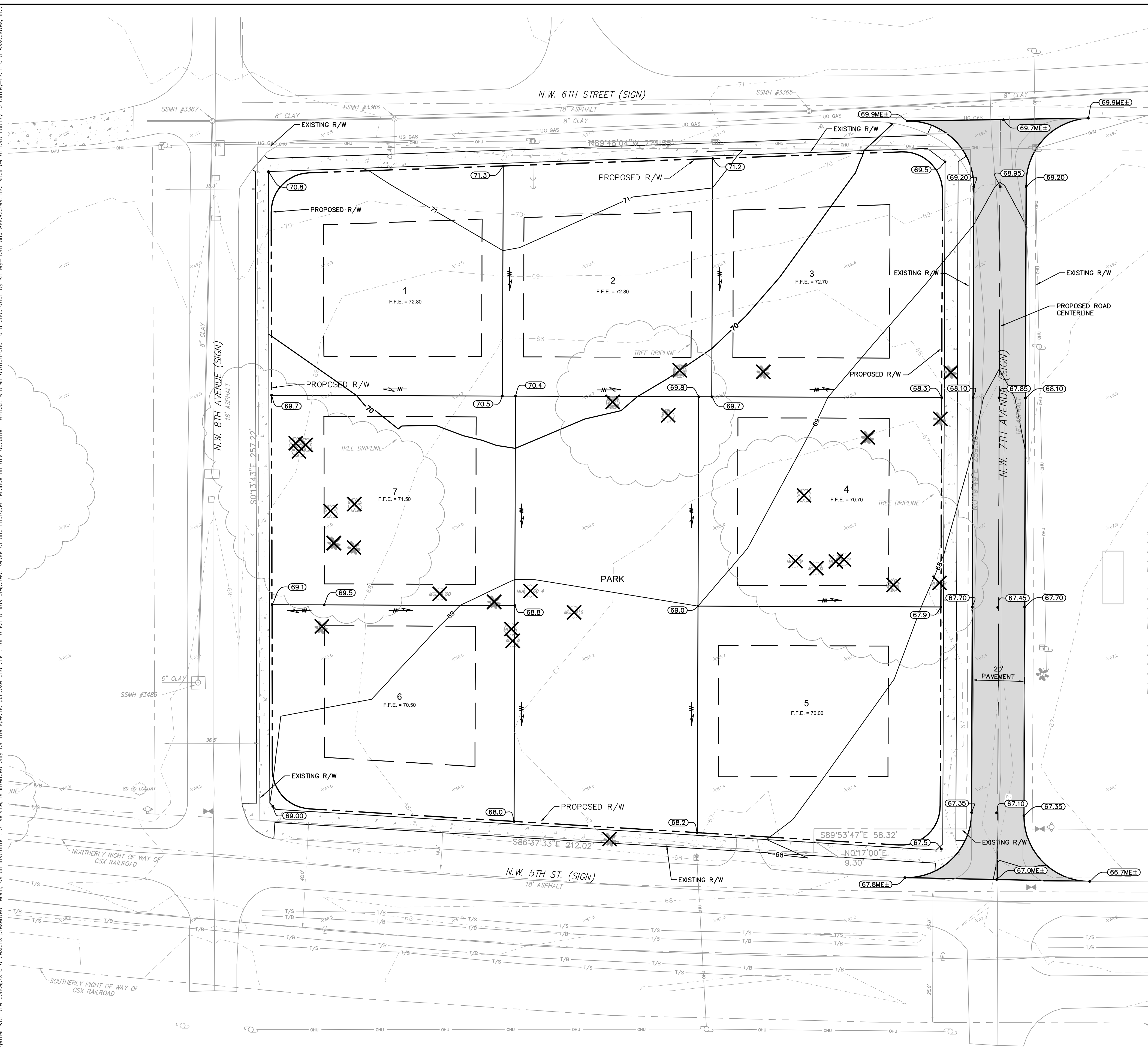
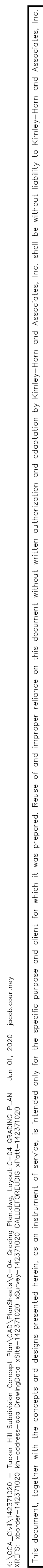
* STREET SIDE YARD AND STREET REAR YARD SETBACKS SHALL BE 20'
TYPICAL LOT SETBACKS DETAIL
 N.T.S.

SITE DATA TABLE	
PARCEL IDENTIFICATION NUMBERS	
2840-017-001, 2840-017-002, 2840-017-003, 2840-017-004, 2840-017-005, 2840-017-006, 2840-017-007, 2840-017-101, 2840-017-102, 2840-017-202, 28509-000-00, 28511-000-000 AND 28512-000-000	
FLOOD ZONE	X
FEMA PANEL	12083C0509E
TOTAL SITE BOUNDARY	1.48 ACRES
LAND USE	
ZONING	R-2
BUILDING SETBACKS	
FRONT YARD	20 FEET
INTERIOR SIDE YARD	8 FEET
STREET SIDE YARD	20 FEET
INTERIOR REAR YARD	15 FEET
STREET REAR YARD	20 FEET
MAXIMUM BUILDING HEIGHT	
	35 FEET
MINIMUM LOT WIDTH	
	70 FEET
MINIMUM LOT AREA	
	7,000 SQUARE FEET

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	15.00'	23.06'	S43°55'36"W	20.86'	88°05'41"	14.51'
C2	15.00'	24.14'	N45°54'48"W	21.62'	92°13'31"	15.59'
C3	15.00'	22.61'	S43°18'10"E	20.53'	86°21'50"	14.08'
C4	15.00'	24.43'	N46°51'27"E	21.82'	93°18'58"	15.89'

[illegible]

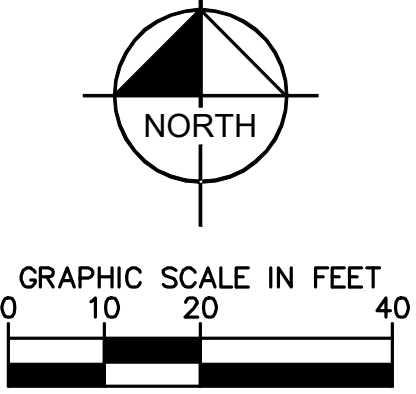
SHEET NUMBER C-03		NW 7TH AVENUE SUBDIVISION PREPARED FOR THE CITY OF OCALA CITY OF OCALA		FLORIDA		SITE PLAN		KHA PROJECT 142371020 DATE JUNE 2020 AS SHOWN DESIGNED BY KHA DRAWN BY TAH CHECKED BY RVB DATE: _____		LICENSED PROFESSIONAL RICHARD V. BUSCHE, P.E. FLORIDA LICENSE NUMBER 58568		Kimley»»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 101 EAST SILVER SPRINGS BLVD, SUITE 400, OCALA, FL 34470 PHONE: 352-438-3000 WWW.KIMLEY-HORN.COM REGISTRY 696	
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1. MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.00% (1:20).
2. MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:48)
3. SEE TYPICAL LOT GRADING DETAILS ON SHEET C-06

[illegible]

SHEET NUMBER C-04		NW 7TH AVENUE SUBDIVISION PREPARED FOR THE CITY OF OCALA CITY OF OCALA		GRADING PLAN		KHA PROJECT 142371020 DATE MAY 2020 AS SHOWN DESIGNED BY KHA DRAWN BY TAH CHECKED BY RVB DATE:		LICENSED PROFESSIONAL RICHARD V. BUSCH, P.E. FLORIDA LICENSE NUMBER 58568		Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 101 EAST SILVER SPRINGS BLVD, SUITE 400, OCALA, FL 34470 PHONE: 352-438-3000 WWW.KIMLEY-HORN.COM REGISTRY 696	
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





Kimley»»Horn
© 2020 KIMLEY+HORN AND ASSOCIATES, INC.
101 EAST SILVER SPRINGS BLVD, SUITE 400, OCALA, FL 34470
PHONE: 352-438-2000
WWW.KIMLEY+HORN.COM REGISTRY 696

KHA PROJECT 142371020	DATE JUNE 2020	RICHARD V. BUSCHE, P.E.	
	AS SHOWN	FLORIDA LICENSE NUMBER 58568	
	DESIGNED BY KHA		
	DRAWN BY TAH		
	CHECKED BY RVB		DATE:

UTILITY PLAN

NW 7TH AVENUE
 SUBDIVISION
 PREPARED FOR
 THE CITY OF OCALA
 CITY OF OCALA
 FLORIDA

- LEGEND**

 -  - SANITARY MANHOLE LABEL
 -  - PROPOSED SANITARY SEWER PIPE
 -  - PROPOSED WATER LINE
 -  - PROPOSED SANITARY MANHOLE
 -  - FIRE HYDRANT ASSEMBLY
 -  - GATE VALVE
 -  - TEE
 -  - BENDS
 -  - BACT. SAMPLE POINT

NOTES:

 - ALL UTILITY CONSTRUCTION SHALL CONFORM WITH THE CITY OF OCALA STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL RULES AND STANDARDS CONTAINED THEREIN.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
 - SEE SHEET C-07 FOR UTILITY DETAILS.
 - ALL POTABLE WATER MAINS SHALL BE POLYVINYL CHLORIDE (PVC), ANSII/AWWA C-900, DR18, 150 PSI PRESSURE RATING, UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM 48" COVER FROM FINISHED GRADE.
 - ALL SANITARY SEWER MAINS SHALL BE POLYVINYL CHLORIDE (PVC), ASTM D-3034, SDR-26, UNLESS OTHERWISE NOTED.
 - UTILITY AS-BUILT DRAWINGS, MEETING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUPPLIED TO THE CITY PRIOR TO INSTALLATION OF THE C.O..
 - POTABLE WATER DEMANDS:**
2,100 GAL/DAY
 - SEWER DEMANDS:**
1,925 GAL/DAY
 - IRRIGATION DEMANDS:**
0 GAL/DAY
 - ANY WATER MAIN OR WATER SERVICE 2 INCH OR ABOVE IN SIZE ARE TO HAVE GATE VALVES INSTALLED. ANY 2 INCH OR LARGER VALVE IS REQUIRED TO HAVE A VALVE THE SHEET SUPPLIED WITH THE UTILITY AS-BUILT DRAWINGS.

EXISTING MANHOLE STRUCTURES

SMMH #3486	SMMH #3365
RIM = 68.95°	RIM = 70.58°
N INV. = 64.70°	N INV. = 62.49°
S INV. = 64.75°	E INV. = 62.18°
W INV. = 64.80°	W INV. = 62.26°
SMMH #3367	SMMH #3364
RIM = 70.66°	RIM = 70.79°
E INV. = 63.15°	E INV. = 61.08°
S INV. = 63.18°	W INV. = 61.08°
W INV. = 63.28°	
SMMH #3366	
RIM = 71.06°	
N INV. = PLUGGED	
E INV. = 62.87°	
S INV. = 65.50°	
W INV. = 62.88°	

PROPOSED MANHOLE STRUCTURES

SS-01
SANITARY SEWER DOGHOUSE MANHOLE
CITY OF OCALA DETAIL 498-1.1A & 498-1.2G
 N: 1766236.4336
 E: 609838.1279
 RIM: 70.05
 INV IN: 61.81, (S) 8" PVC SDR 26
 INV IN: 61.81, (W) 8" CLAY, EXISTING
 INV OUT: 61.81, (E) 8" CLAY, EXISTING

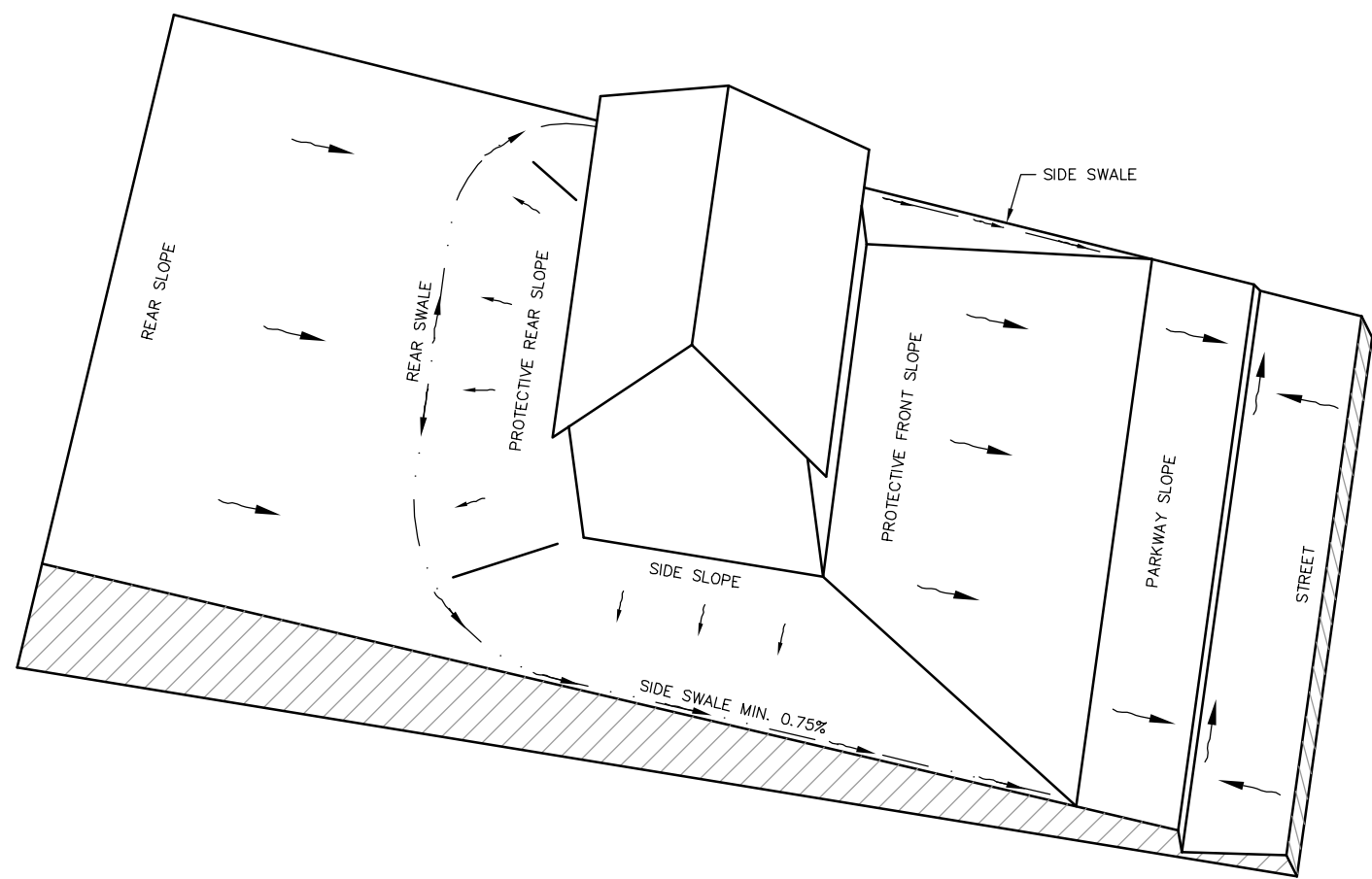
SS-02
SANITARY SEWER MANHOLE
CITY OF OCALA DETAIL 498-1.1A
N:1765963.1894
E: 609836.5531
RIM: 67.22
INV OUT: 63.04, (N) 8" PVC SDR 26

CALL 2 BUSINESS
DAYS BEFORE
YOU DIG
IT'S THE LAW!
DIAL 811

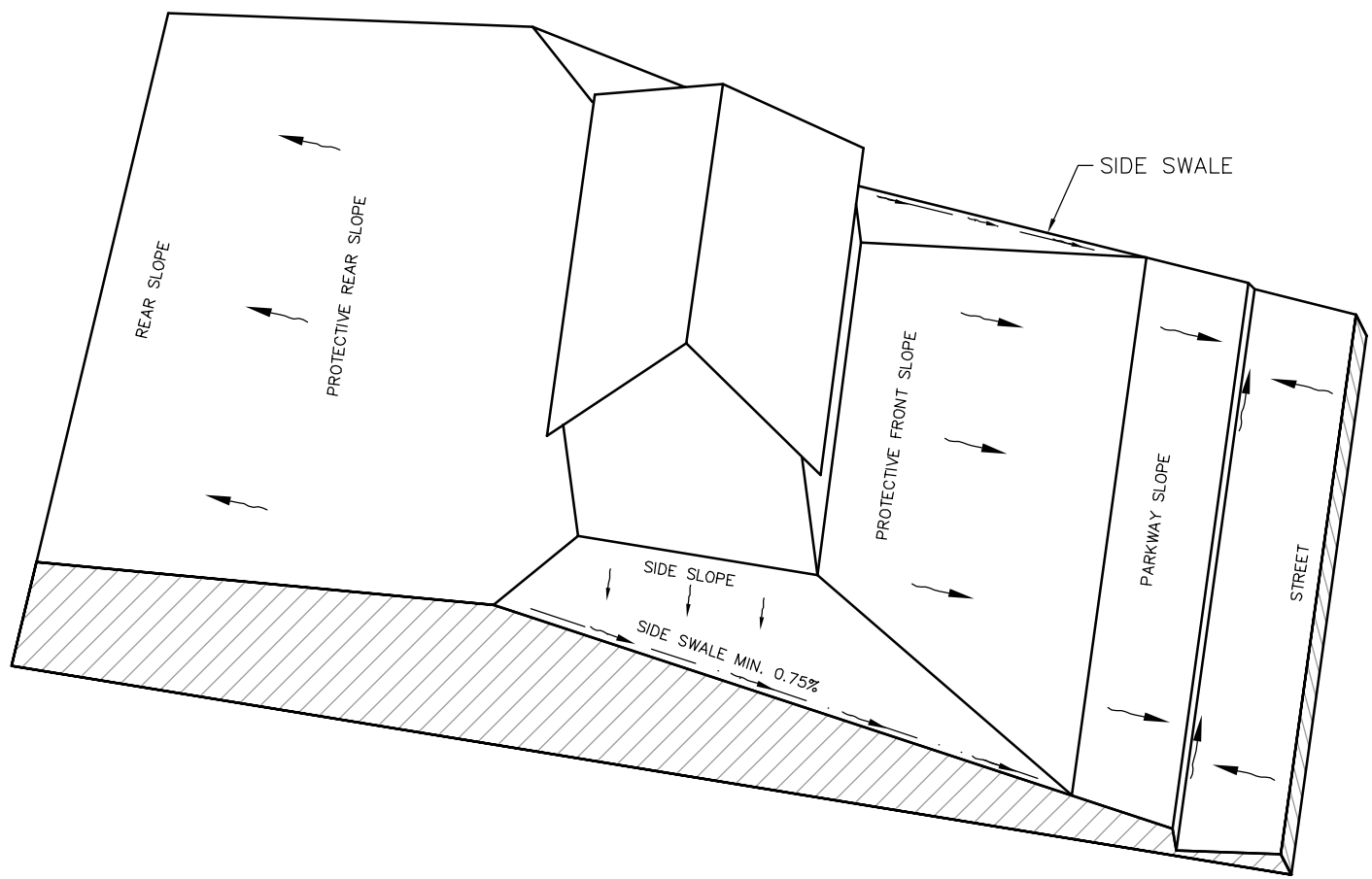
811
Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

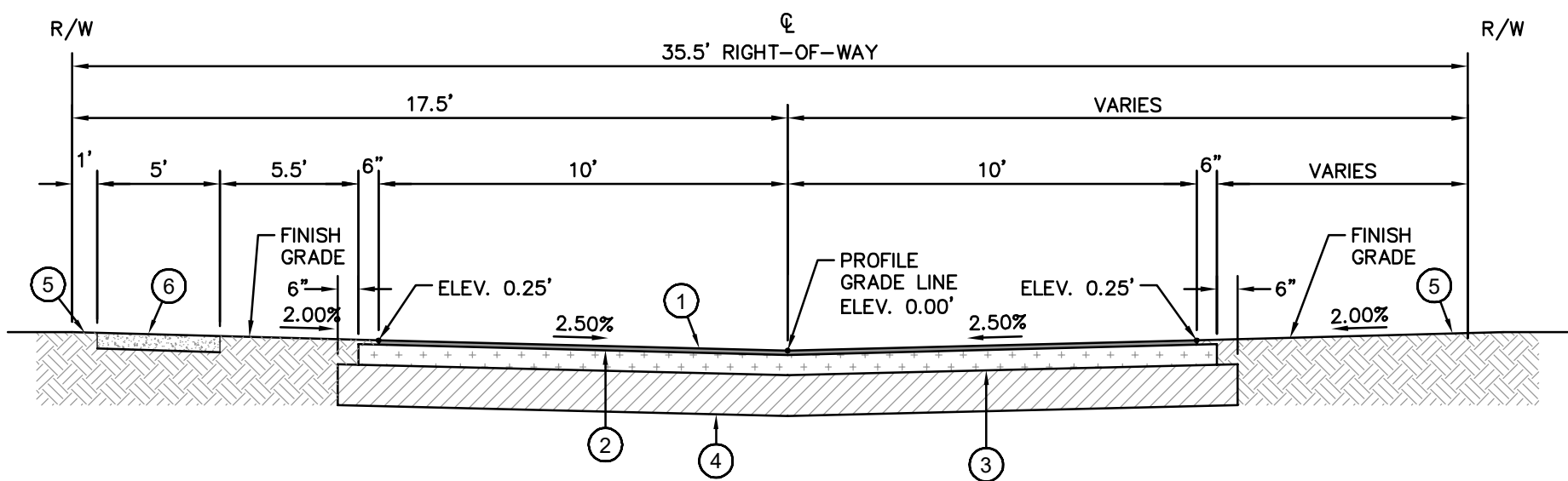
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W:\S:\adms\142371020 4\road\road-00.dwg
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LOT GRADING DETAIL - TYPE "A"
(DRAINAGE TO STREET)
PGKH06A.DWG N.T.S.

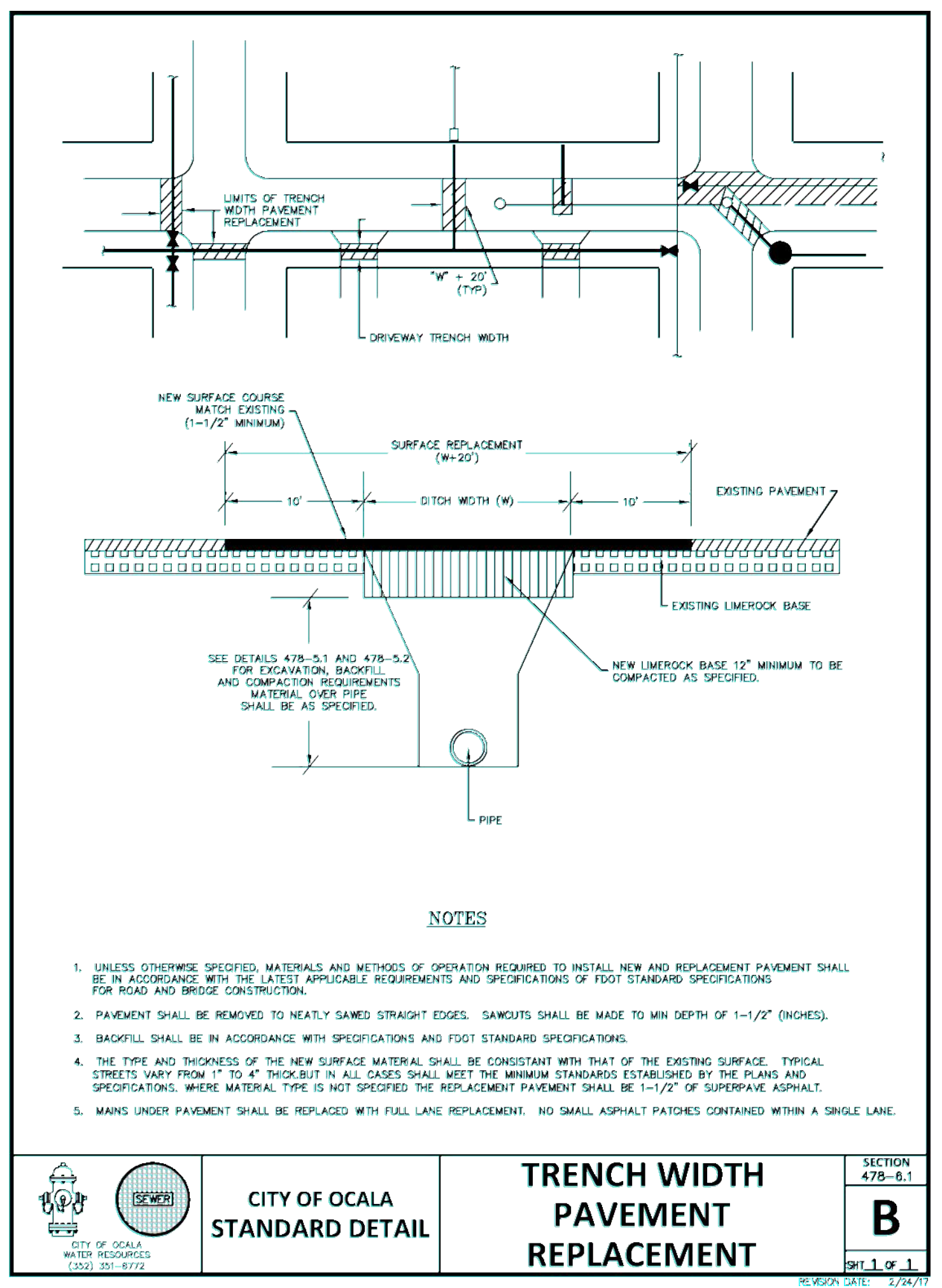


LOT GRADING DETAIL - TYPE "B"
(DRAINAGE TO BOTH STREET AND REAR LOT LINE)
PGKH07A.DWG N.T.S.



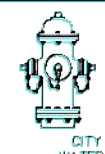
- ① - 1-1/2" MINIMUM THICK TYPE SP-9.5 ASPHALTIC CONCRETE SURFACE
- ② - BITUMINOUS PRIME COAT
- ③ - 8" MINIMUM THICK LIMEROCK BASE WITH A MINIMUM LBR OF 100 COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180
- ④ - 12" MINIMUM THICK STABILIZED SUBGRADE WITH A MINIMUM LBR OF 40, COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180 (UNDERCUT ROADWAYS AND BACKFILL WITH CLEAN FILL WHEN REQUIRED)
- ⑤ - 2.00% MINIMUM SLOPE PROVIDE SOD
- ⑥ - CONCRETE SIDEWALK (4" THICKNESS; 3,000 P.S.I. @ 28 DAYS)

TYPICAL ROAD SECTION
NOT TO SCALE



NOTES

- UNLESS OTHERWISE SPECIFIED, MATERIALS AND METHODS OF OPERATION REQUIRED TO INSTALL NEW AND REPLACEMENT PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- PAVEMENT SHALL BE REMOVED TO NEATLY SAWED STRAIGHT EDGES. SAWCUTS SHALL BE MADE TO MIN DEPTH OF 1-1/2" (INCHES).
- BACKFILL SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND FOOT STANDARD SPECIFICATIONS.
- THE TYPE AND THICKNESS OF THE NEW SURFACE MATERIAL SHALL BE CONSISTENT WITH THAT OF THE EXISTING SURFACE. TYPICAL STREETS VARY FROM 1" TO 4" THICK BUT IN ALL CASES SHALL MEET THE MINIMUM STANDARDS ESTABLISHED BY THE PLANS AND SPECIFICATIONS. WHERE MATERIAL TYPE IS NOT SPECIFIED, THE REPLACEMENT PAVEMENT SHALL BE 1-1/2" OF SUPERPAVE ASPHALT.
- MAINS UNDER PAVEMENT SHALL BE REPLACED WITH FULL LANE REPLACEMENT. NO SMALL ASPHALT PATCHES CONTAINED WITHIN A SINGLE LANE.



CITY OF OCALA
STANDARD DETAIL

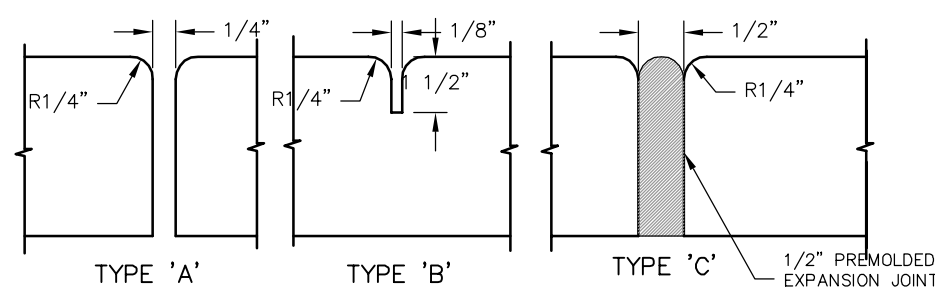
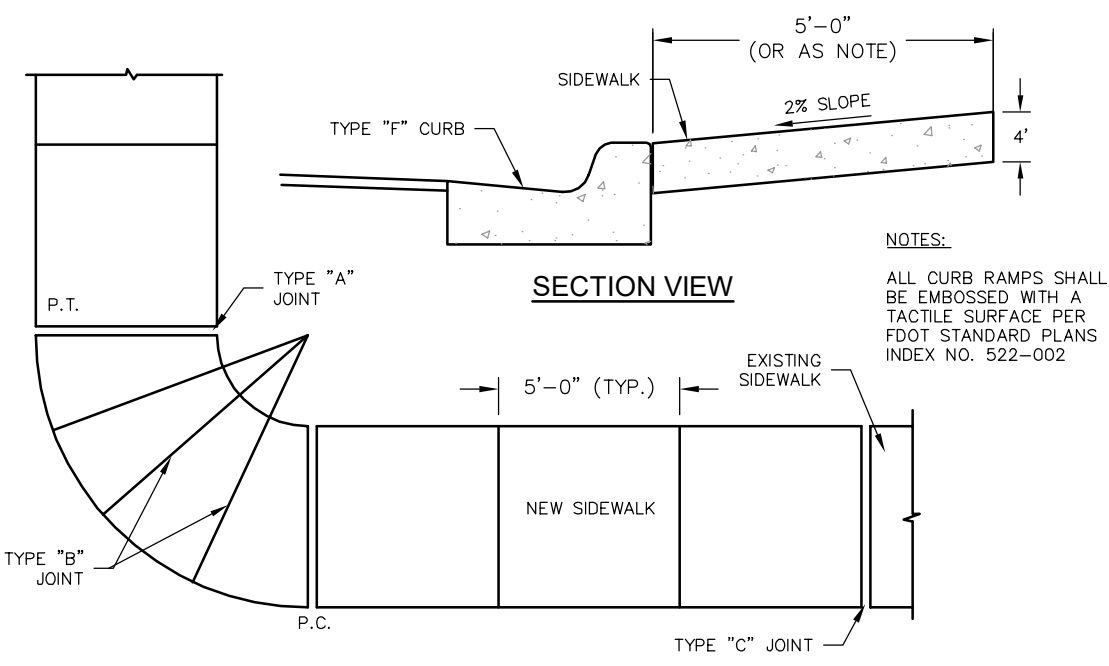
TRENCH WIDTH
PAVEMENT
REPLACEMENT

SECTION
478-6.1
B
SHEET 1 OF 1
REVISION DATE: 2/24/17

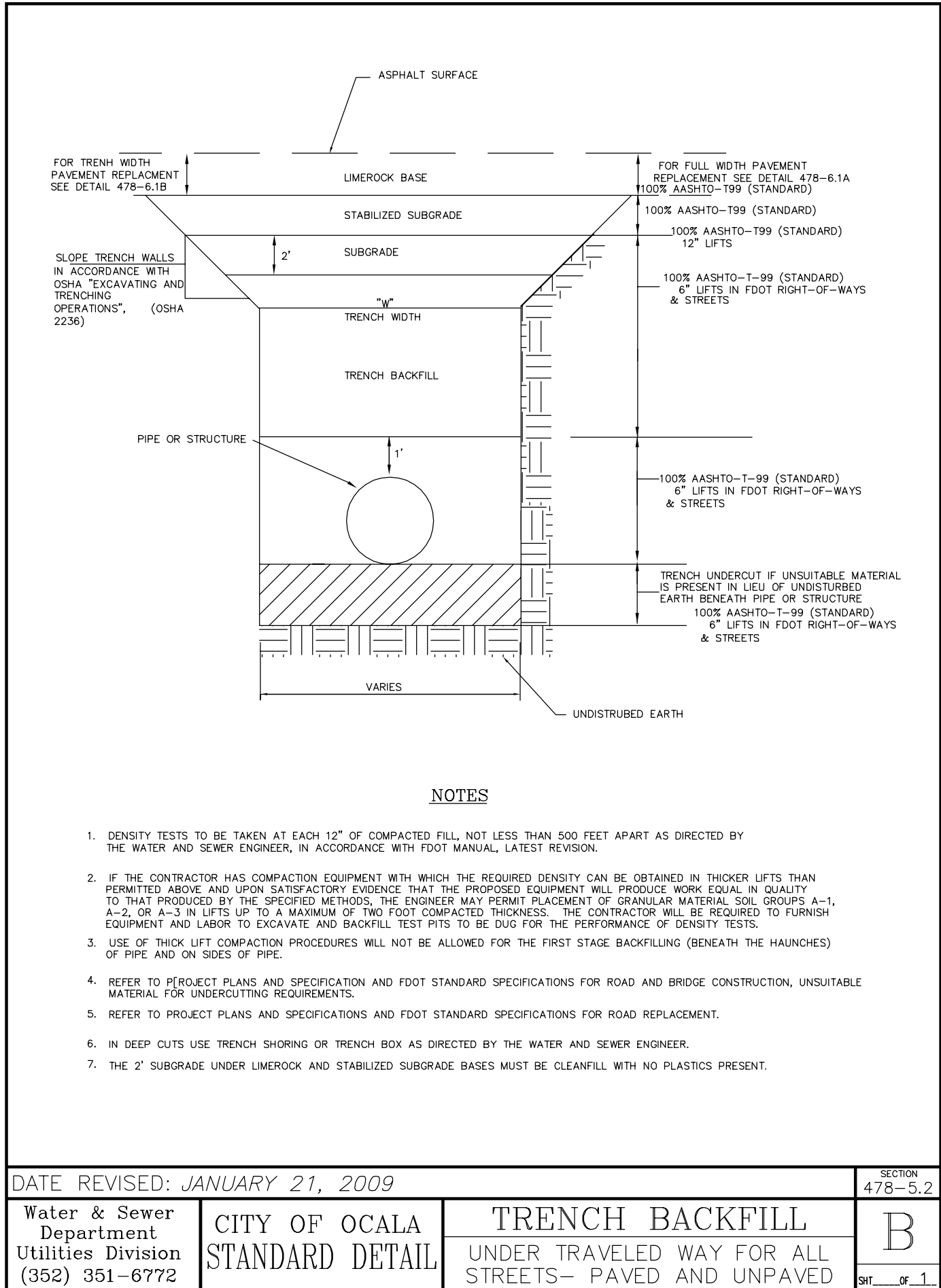
TABLE OF SIDEWALK THICKNESS	
LOCATION	THICKNESS
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

NOTE:
CONCRETE TO BE 3,000 P.S.I. AT 28 DAYS

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES.
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS. (NOT LESS THAN 4' AND NOT GREATER THAN 100')
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. JUNCTION OF EXISTING AND NEW SIDEWALKS AT INTERVALS NOT GREATER THAN 100'.



SIDEWALK JOINTS
SIDEWALK CONSTRUCTION
PGKH34A.DWG N.T.S.



NOTES

- DENSITY TESTS TO BE TAKEN AT EACH 12" OF COMPACTED FILL, NOT LESS THAN 500 FEET APART AS DIRECTED BY THE WATER AND SEWER ENGINEER, IN ACCORDANCE WITH FOOT MANUAL, LATEST REVISION.
- IF THE CONTRACTOR HAS COMPACTION EQUIPMENT WITH WHICH THE REQUIRED DENSITY CAN BE OBTAINED IN THICKER LIFTS THAN PERMITTED ABOVE AND UPON SATISFACTORY EVIDENCE THAT THE PROPOSED EQUIPMENT WILL PRODUCE WORK EQUAL IN QUALITY TO THAT PRODUCED BY THE SPECIFIED METHODS, THE ENGINEER MAY PERMIT PLACEMENT OF GRANULAR MATERIAL, SOIL GROUPS A-1, A-2, OR A-3 IN LIFTS UP TO A MAXIMUM OF TWO FEET COMPACTED THICKNESS. THE CONTRACTOR WILL BE REQUIRED TO FURNISH EQUIPMENT AND LABOR TO EXCAVATE AND BACKFILL TEST PITS TO BE DUG FOR THE PERFORMANCE OF DENSITY TESTS.
- USE OF THICK LIFT COMPACTION PROCEDURES WILL NOT BE ALLOWED FOR THE FIRST STAGE BACKFILLING (BENEATH THE HAUNCHES) OF PIPE AND ON SIDES OF PIPE.
- REFER TO PROJECT PLANS AND SPECIFICATION AND FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNSUITABLE MATERIAL FOR UNDERCUTTING REQUIREMENTS.
- REFER TO PROJECT PLANS AND SPECIFICATIONS AND FOOT STANDARD SPECIFICATIONS FOR ROAD REPLACEMENT.
- IN DEEP CUTS USE TRENCH SHORING OR TRENCH BOX AS DIRECTED BY THE WATER AND SEWER ENGINEER.
- THE 2' SUBGRADE UNDER LIMEROCK AND STABILIZED SUBGRADE BASES MUST BE CLEANFILL WITH NO PLASTICS PRESENT.

DATE REVISED: JANUARY 21, 2009

Water & Sewer
Department
Utilities Division
(352) 351-6772

CITY OF OCALA
STANDARD DETAIL

TRENCH BACKFILL
UNDER TRAVELED WAY FOR ALL
STREETS- PAVED AND UNPAVED

SECTION
478-5.2
B
SHEET 1 OF 1

CONSTRUCTION
DETAILS

NW 7TH AVENUE
SUBDIVISION
PREPARED FOR
THE CITY OF OCALA

FLORIDA
CITY OF OCALA

LICENSED PROFESSIONAL
RICHARD V. BUSCHE, P.E.

FLORIDA LICENSE NUMBER
58508
DESIGNED BY KHA
DRAWN BY TAH
CHECKED BY RVB
DATE: 11/11/17

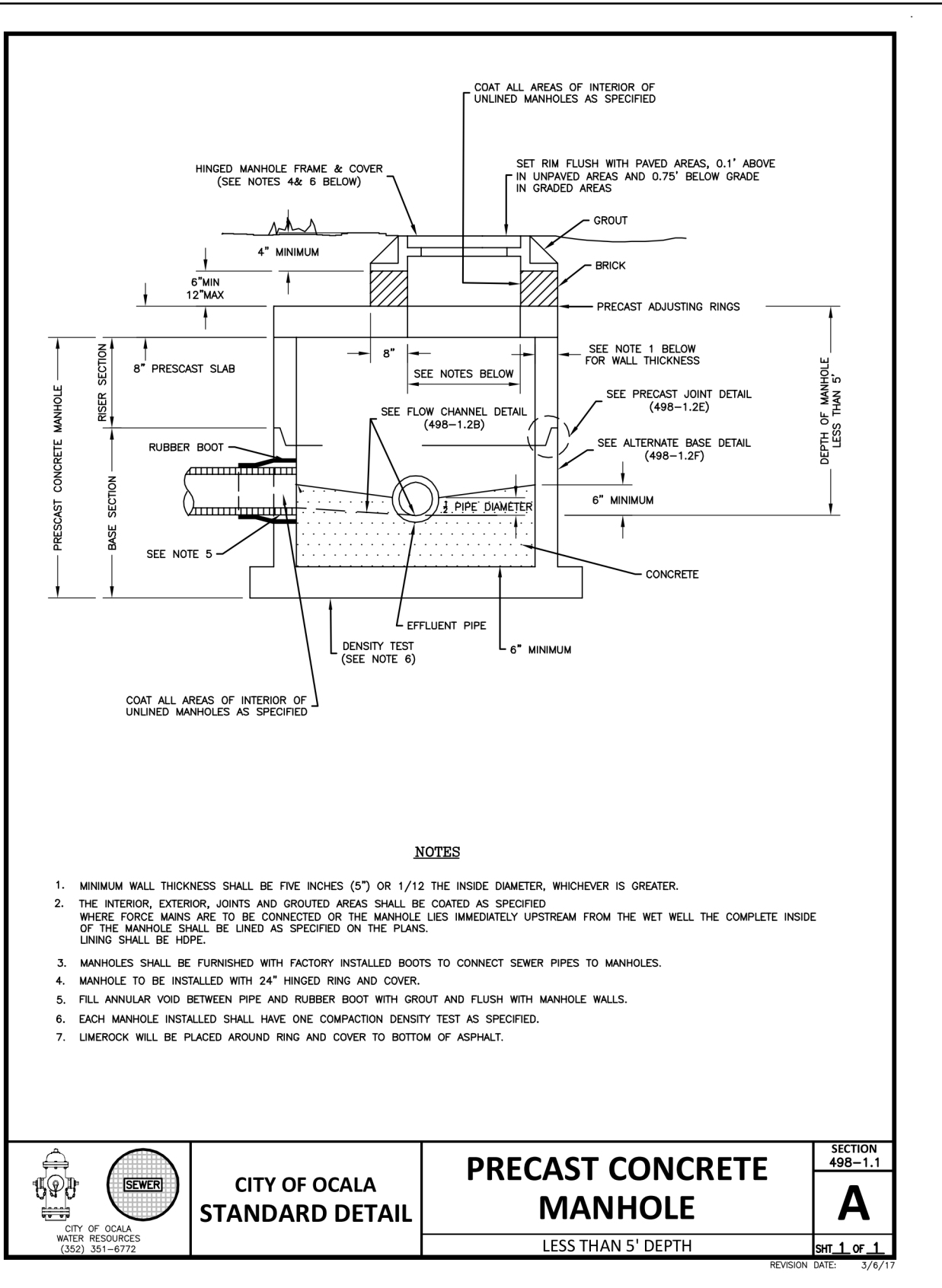
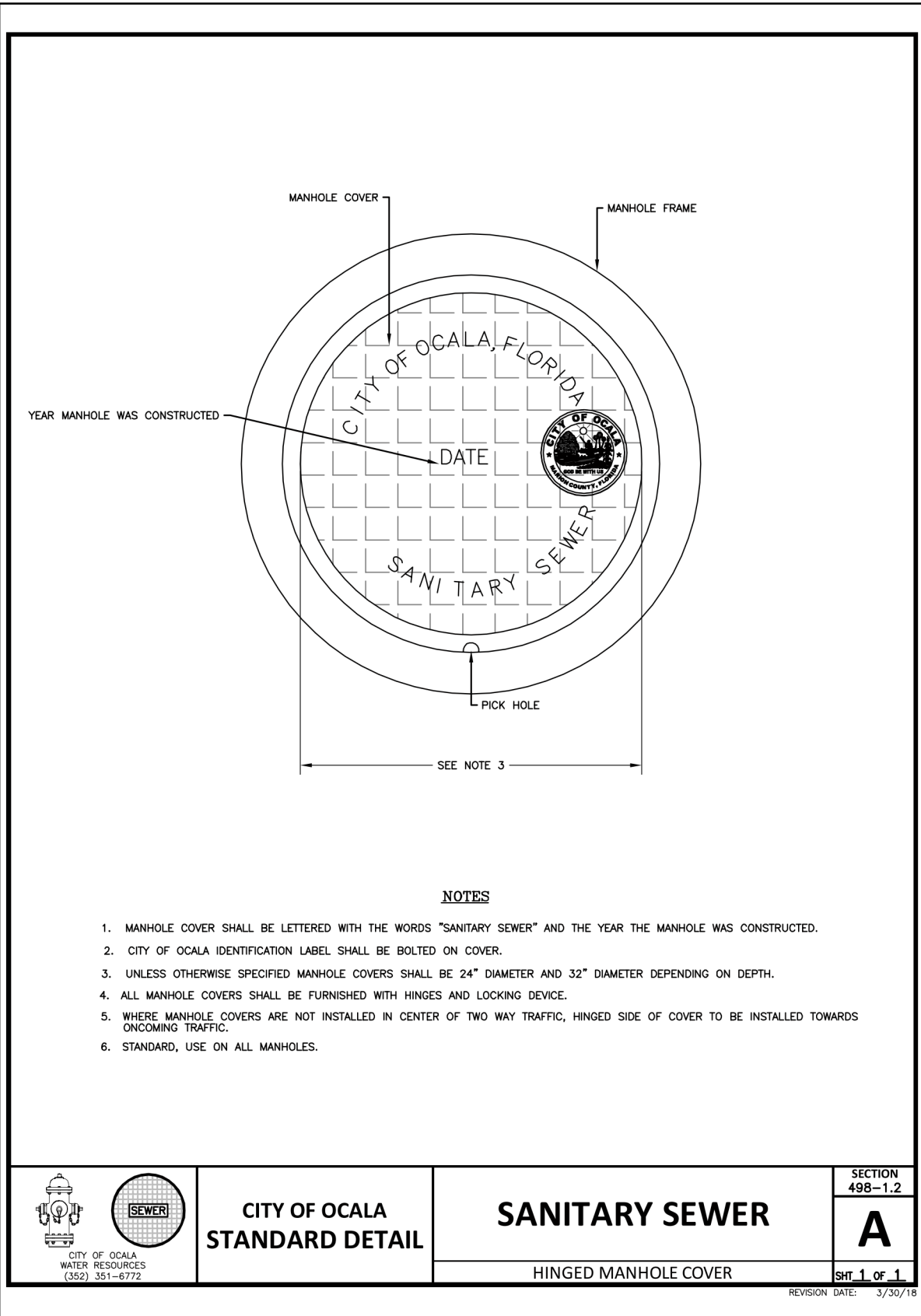
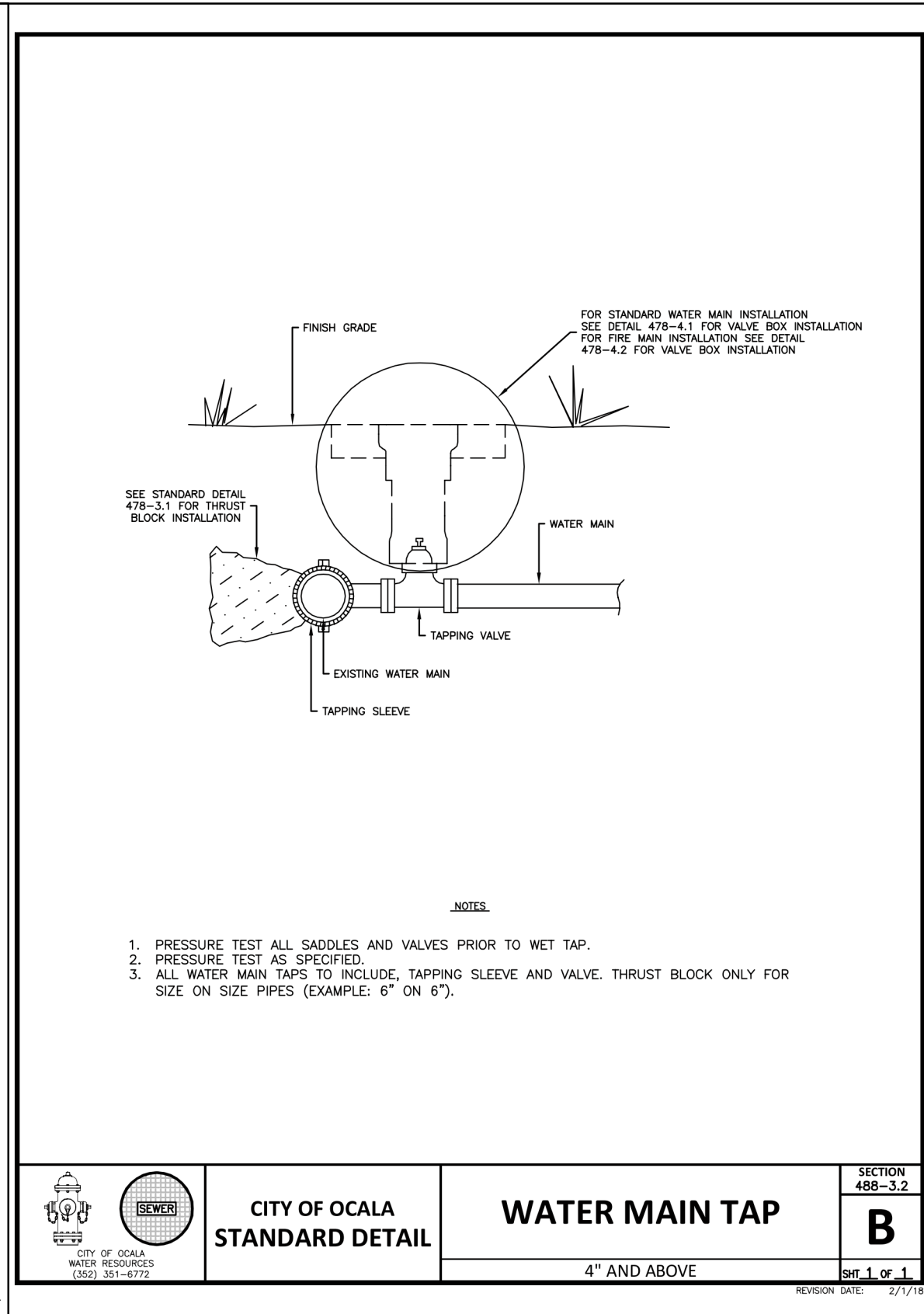
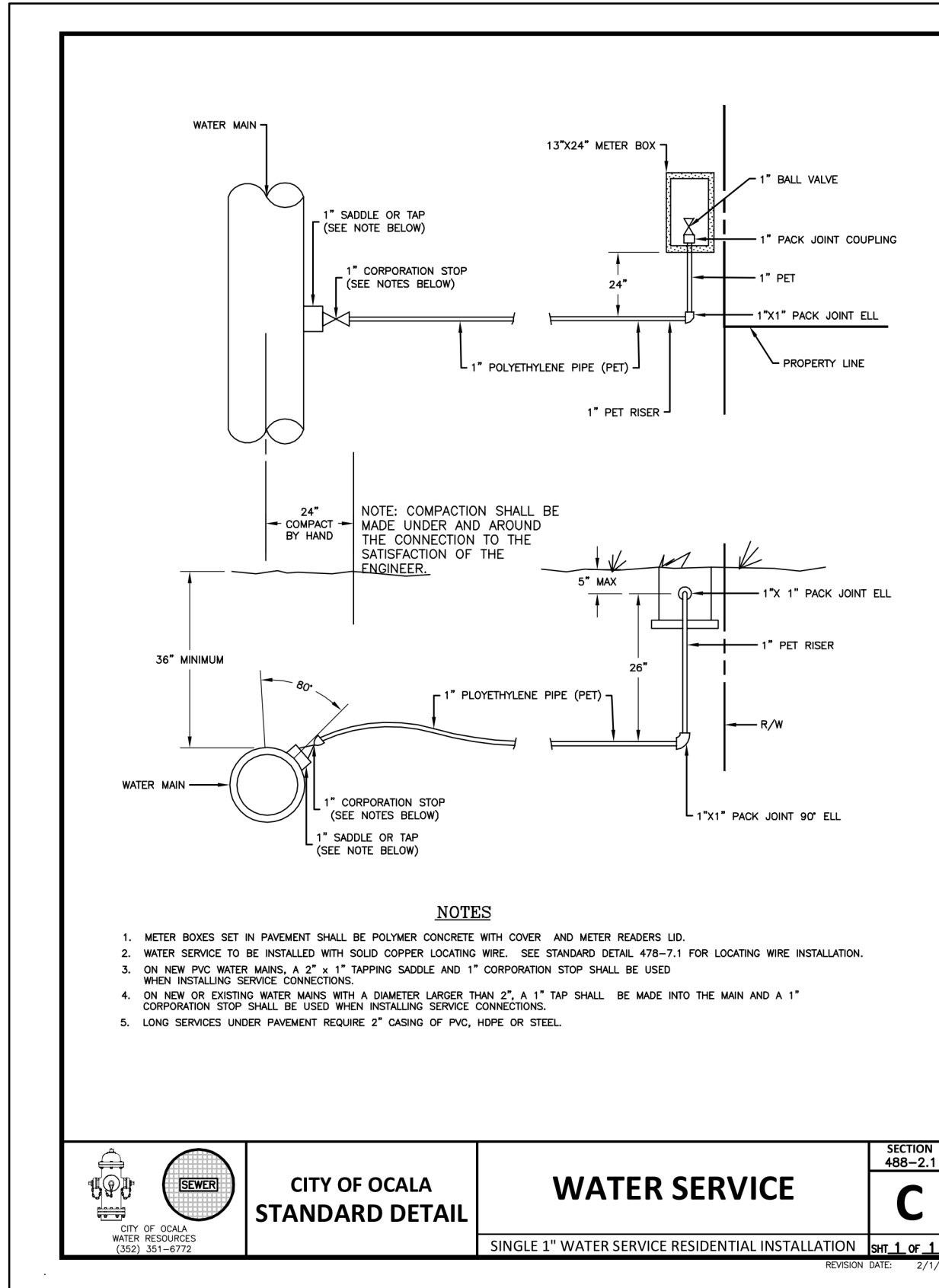
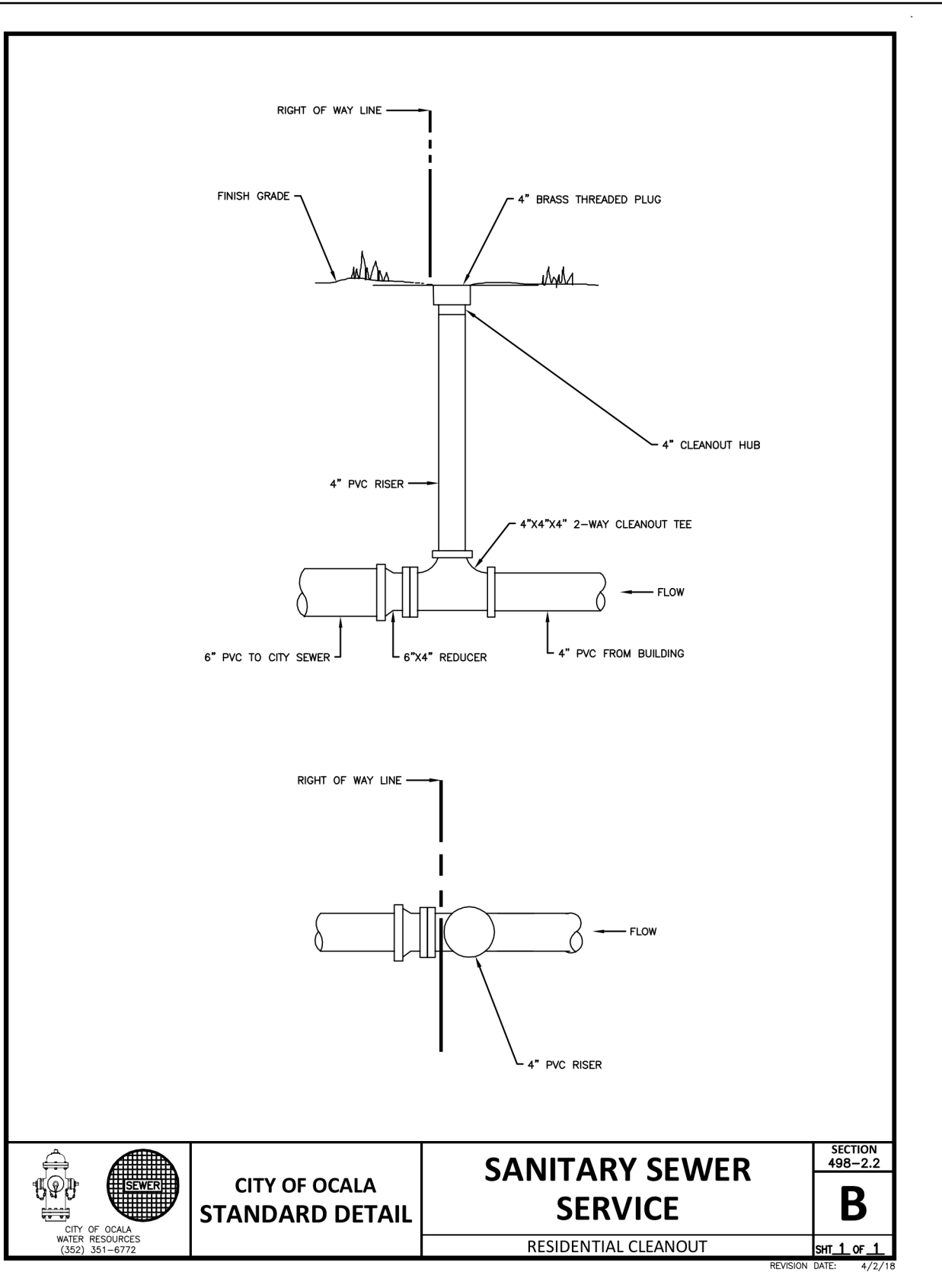
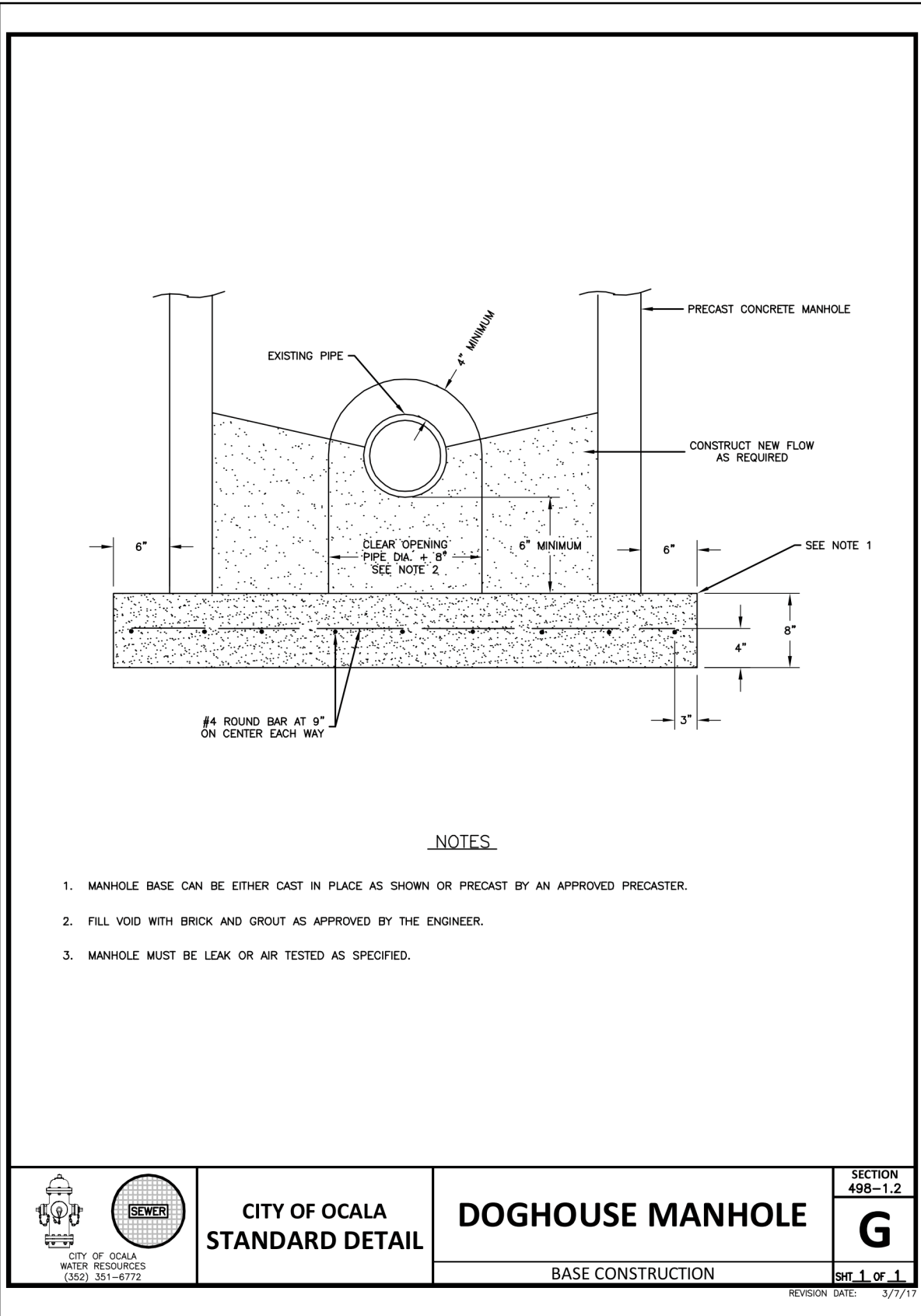
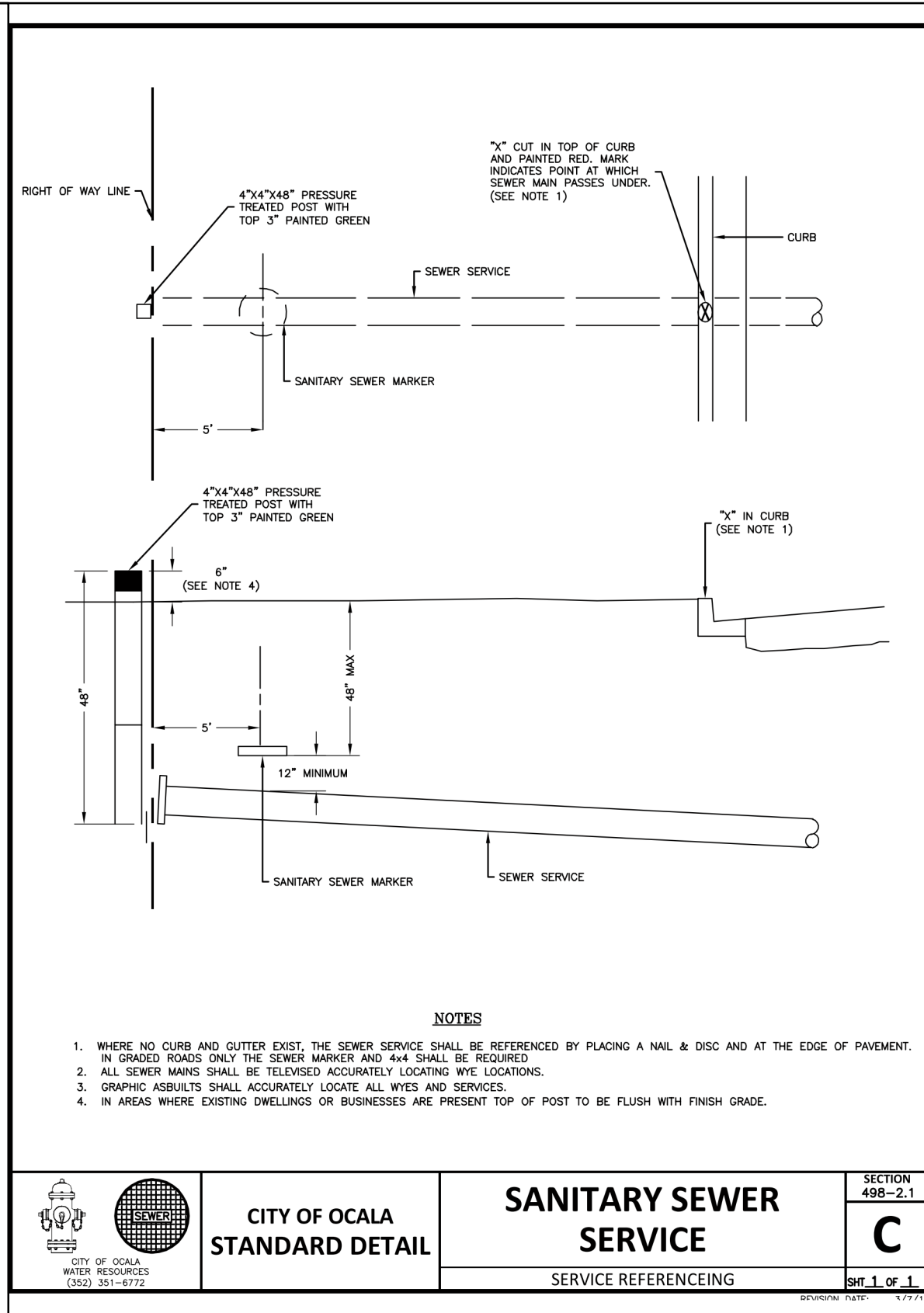
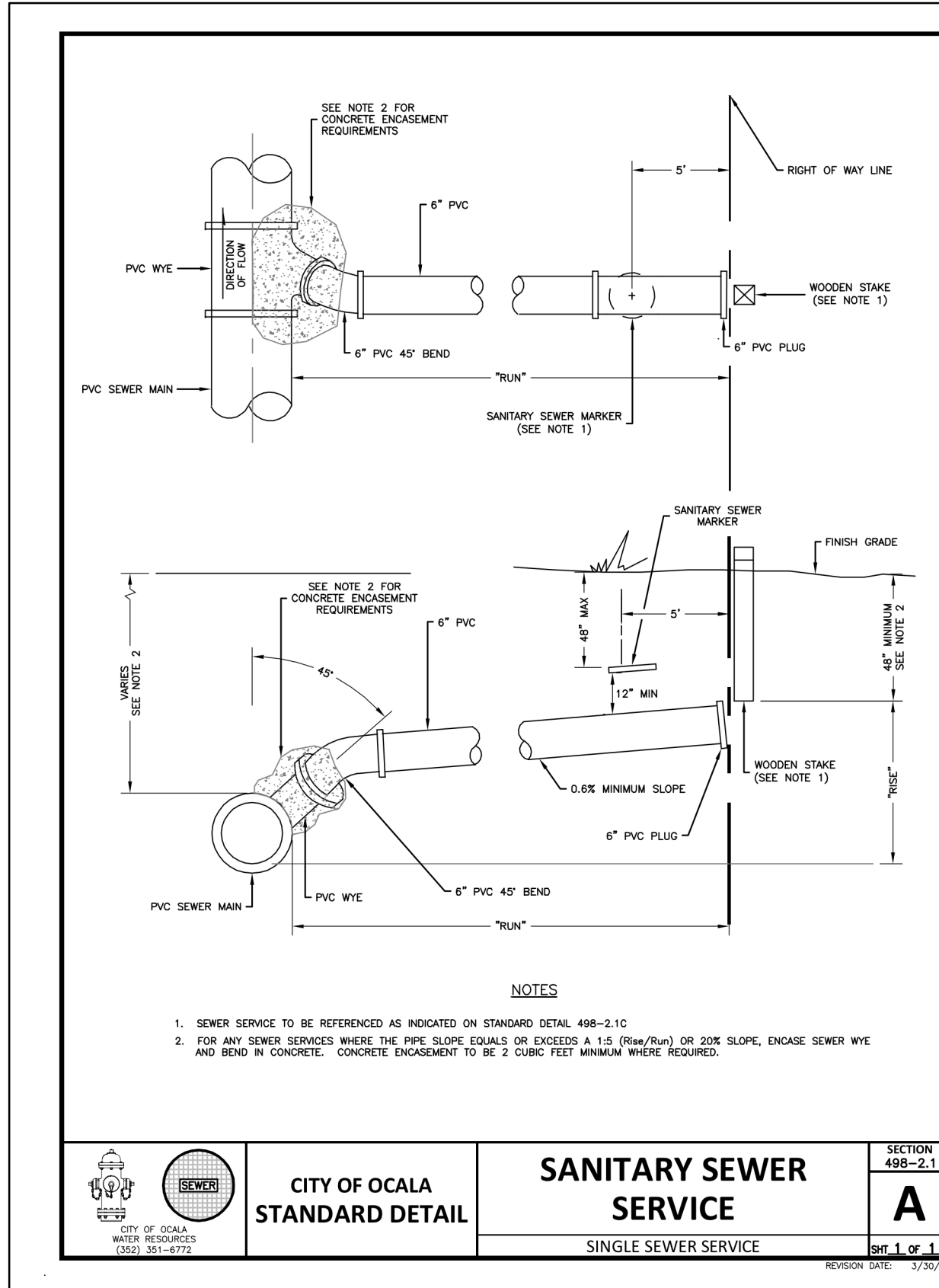
Kimley»Horn

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PHONE: 352-438-3000
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SHEET NUMBER
C-06

K:\DOA_Cons\142371020 - Tucker Hill Subdivision Concept Plan\CAD\Drawings\C-07 Utility Detailing.dwg, Layout: C-07 Utility Details Jun 25, 2020 Jacob Courtney
PLOT: s:\dms\142371020 - Tucker Hill Subdivision Concept Plan\142371020 - Tucker Hill Subdivision Concept Plan\142371020 - Tucker Hill Subdivision Concept Plan.dwg
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No.	REVISIONS	DATE	BY
1	NOT FOR CONSTRUCTION		

Kimley»Horn

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PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY: 696

LICENSED PROFESSIONAL

RICHARD V. BUSCHE, P.E.

FLORIDA LICENSE NUMBER 58568

KHA PROJECT 142371020

DATE JUNE 2020

AS SHOWN

DESIGNED BY KHA

DRAWN BY TAH

CHECKED BY RVB

UTILITY DETAILS

NW 7TH AVENUE
SUBDIVISION
PREPARED FOR
THE CITY OF OCALA

FLORIDA

CITY OF OCALA

SHEET NUMBER
C-07

CALL 2 BUSINESS
DAYS BEFORE
YOU DIG
IT'S THE LAW!
DIAL 811

811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SHEET 2 OF 2
ONE IS NOT COMPLETE WITHOUT THE OTHER
SEE SHEET 1 OF 2 NOTES, VICINITY MAP,
CERTIFICATIONS AND LEGEND

TOPOGRAPHIC SURVEY FOR:
CITY OF OCALA
A PORTION OF SECTION 18, TOWNSHIP 15 SOUTH, RANGE 22 EAST
CITY OF OCALA
MARION COUNTY, FLORIDA



NO.	REVISIONS	BY	DATE
3.	CORRECTED PARCEL NUMBERS	CJH	04/02/20
2.	CORRECTED PARCEL NUMBERS	CJH	11/13/19
1.	CORRECTED CLIENT NAME	ALB	09/09/19

DRAWN:	CJH
REVISED:	
CHECKED:	CJH
APPROVED:	CJH
SCALE:	1" = 20'

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING • ENVIRONMENTAL • C.I.S.
CHARLES W. JONES, P.E., C.I.S., C.E.M., C.E.S.
P.O. BOX 100, Ocala, FL 34455
TEL: 352.233.5555 FAX: 352.233.5555 WWW.JCH.COM

TOPOGRAPHIC SURVEY
-FOR-
CITY OF OCALA

FIELD BOOK/PAGE:
19-9 / 39-42
FILE: CLINE'S SUB

U.O.# 190581
DWG.# 190581R3
SHT 2 OF 2